



NOTICE TO ALL FIRMS

Date: April 17, 2024
To: All Prospective Bidders
From: Sam Li
Interim Director of Procurement Services
Re: Addendum Number 1
IFB # C1622 – COED Residence Hall Rooms & Corridors Painting, Floors 6-9

Notes

See attached drawings G-001.SK1, A-800.SK1 and A-801.SK1 indicating the following changes:

- 1. All existing vinyl base to remain and be protected (typ.).
- 2. Interior of all existing closets to be painted throughout (typ.).

THIS ADDENDUM IS PART OF THE CONTRACT DOCUMENT AND SHALL BE INCLUDED WITH YOUR REQUEST FOR PROPOSAL SUBMITTAL. YOUR SIGNATURE BELOW WARRANTS THAT YOU UNDERSTAND THIS ADDENDUM AND THAT YOU HAVE MADE THE APPROPRIATE ADJUSTMENTS IN YOUR PROPOSAL AND CALCULATIONS.

Signature

Print Name and Title of Authorized Representative

Print Name of Company/Partnership/Individual

Date

Material Designations

	CONCRETE MASONRY UNITS
	GLASS
	GYPSUM DRYWALL/ CEMENT FILL
	INSULATION (LOOSE OR BATT)
	INSULATION (RIGID)
	METAL (SMALL SCALE)
	PLYWOOD
	STEEL (LARGE SCALE)
	TILE - CERAMIC, ACOUSTIC, VCT
	WOOD, FINISHED
	WOOD, ROUGH

Abbreviations

ACCES	ACCESSORY	INFO	INFORMATION
ACOUS	ACOUSTIC(AL)	MFD	MANUFACTURED
AFF	ABOVE FINISHED FLOOR	MFR	MANUFACTURER
AL	ALUMINUM	MECH	MECHANICAL
ALT	ALTERNATE	MTL	METAL
ANOD	ANODIZED	MIN	MINIMUM
APPL	APPLIANCE	MISC	MISCELLANEOUS
ARCH	ARCHITECTURAL	MLWK	MILLWORK
		MTD	MOUNTED
BLDG	BUILDING	NIC	NOT IN CONTRACT
BD	BOARD	NTS	NOT TO SCALE
BLKG	BLOCKING		
BO	BOTTOM OF	OPP HAND	OPPOSITE HAND
CAB	CABINET	PLYWD	PLYWOOD
CPT	CARPET		
CLG	CEILING	RCP	REFLECTED CEILING PLAN
COATG	COATING		
CONC	CONCRETE	RFI	REQUEST FOR INFORMATION
CONSTR	CONSTRUCTION		
COVR	COVER	RM	ROOM
CMU	CONCRETE MASONRY UNIT	RO	ROUGH OPENING
DBL	DOUBLE	SF	SQUARE FEET
DEPT	DEPARTMENT	SIM	SIMILAR
DET	DETAIL	SMC	SURFACE MOUNTED CONDUIT
DIA	DIAMETER	SS	STAINLESS STEEL
DIFF	DIFFUSER	STD	STANDARD
DIM	DIMENSION	STL	STEEL
DN	DOWN	SUSP	SUSPENDED
DR	DOOR		
DWGS	DRAWINGS	THK	THICK
		TO	TOP OF
ELEC	ELECTRICAL	TYP	TYPICAL
ENG	ENGINEER		
EQ	EQUAL	UON	UNLESS OTHERWISE NOTED
EQUIP	EQUIPMENT		
ETC	ETCETERA		
EXIST	EXISTING	VIF	VERIFY IN FIELD
EXT	EXTERIOR		
FAB	FABRICATION	W/	WITH
FE	FIRE EXTINGUISHER	W/O	WITHOUT
FEC	FIRE EXTINGUISHER CABINET	WT	WEIGHT
FIN	FINISH		
FR	FIRE RAT(ING)(ED)		
GA	GAUGE		
GC	GENERAL CONTRACTOR		
GL	GLASS		
GYP	GYPSUM		
HD	HEAD		
HDWD	HARDWOOD		
HDWE	HARDWARE		
HM	HOLLOW METAL		
HYAC	HEATING, VENTILATION, AND AIR CONDITIONING		

Graphic Symbols

	SECTION LETTER
	BUILDING SECTION REFERENCE
	DETAIL NO.
	WALL SECTION OR DETAIL REFERENCE
	DETAIL NUMBER
	DETAIL REFERENCE
	ELEVATION NUMBER
	WALL ELEVATION REFERENCE
	NORTH INDICATOR
	REVISION NO.
	ROOM/SPACE NO.
	CENTERLINE
	LEVEL LINE
	ALIGN
	WALL MATERIAL DESIGNATION
	HIDDEN LINES OR REMOVALS
	EXISTING WORK TO REMAIN
	EXISTING WORK TO BE REMOVED
	NEW INFILL
	NEW PARTITIONS
	EXISTING DOOR & FRAME TO REMAIN
	EXISTING DOOR & FRAME TO BE REMOVED

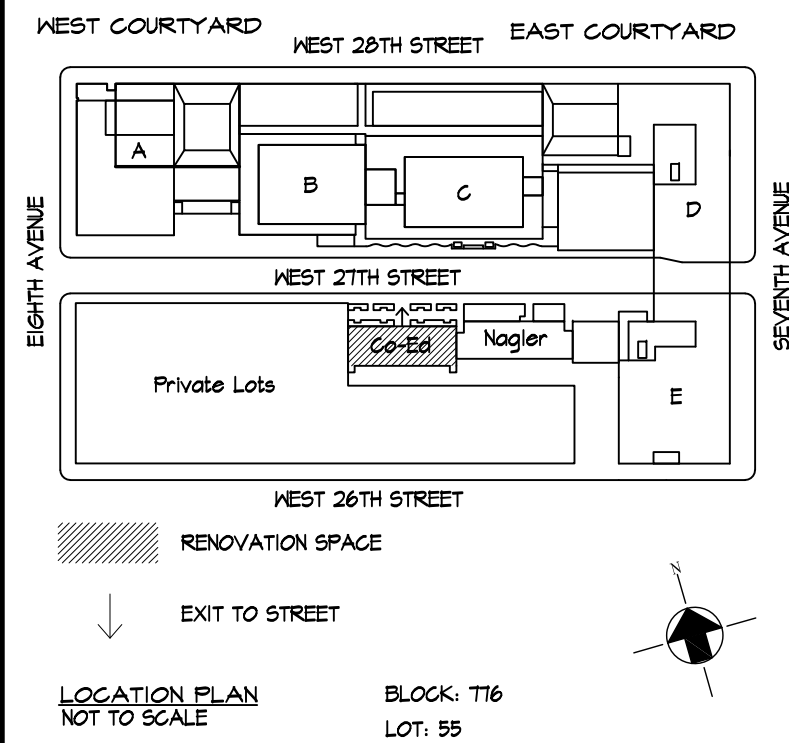
General Notes

- THE FOLLOWING NOTES SHALL APPLY THROUGHOUT. EXCEPTIONS ARE SPECIFICALLY NOTED ON EACH DRAWING.
- ALL WORK OF THIS CONTRACT SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITION OF THE NEW YORK CITY BUILDING CODE AND REGULATIONS OF OTHER AGENCIES HAVING JURISDICTION ON THE WORK OF THIS CONTRACT.
 - DO NOT SCALE DRAWINGS. DIMENSIONS SHOWN GOVERN. LARGER SCALE DRAWINGS SHALL GOVERN OVER SMALLER SCALE. USE DIMENSIONS ONLY. ALL DIMENSIONS AND CONDITIONS SHOWN AND ASSUMED ON THE DRAWINGS MUST BE VERIFIED AT THE SITE BY THE CONTRACTOR BEFORE ORDERING ANY MATERIAL OR DOING ANY WORK. ANY DISCREPANCIES IN THE DRAWINGS AND SPECIFICATIONS SHALL BE REPORTED TO THE ARCHITECT. NO CHANGE IN DRAWINGS OR SPECIFICATIONS IS PERMISSIBLE WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT/ENGINEER. NO WORK SHALL PROCEED UNTIL SUCH DISCREPANCY HAS BEEN RECTIFIED.
 - ALL WORK ON THESE DRAWINGS SHALL BE CONSIDERED NEW WORK WHETHER STATED OR NOT EXCEPT WHERE SPECIFICALLY NOTED AS 'EXISTING TO REMAIN'.
 - COORDINATION OF ALL WORK UNDER THIS CONTRACT SHALL BE MAINTAINED TO ENSURE THE QUALITY AND TIMELY COMPLETION OF THE WORK/PROJECT.
 - THE CONTRACTOR SHALL PATCH, REPAIR OR REPLACE ALL DAMAGED OR EXPOSED SURFACES DUE TO CONTRACT WORK. ALL NEWLY INSTALLED, PATCHED WORK AND ALL AFFECTED AREAS SHALL BE PAINTED OR FINISHED AS INDICATED OR AS SPECIFIED. ALL WORK SHALL BE PERFORMED TO COVER THE ENTIRE HORIZONTAL OR VERTICAL SURFACE TO THE CLOSEST CORNER IN ALL FOUR DIRECTIONS TO MATCH EXISTING CONDITIONS.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR ADEQUATELY BRACING AND PROTECTING ALL WORK DURING CONSTRUCTION AGAINST DAMAGE, BREAKAGE, COLLAPSE, DISTORTIONS AND INCORRECT ALIGNMENTS ACCORDING TO ALL APPLICABLE CODES AND STANDARDS OF GOOD PRACTICE.
 - THE CONTRACTOR SHALL INCLUDE ALL PREPARATORY AND ASSOCIATED SUPPLEMENTARY WORK TO PROVIDE A COMPLETE AND FINISHED INSTALLATION.
 - WHERE MANUFACTURER'S NAMES AND PRODUCT NUMBERS ARE INDICATED ON DRAWINGS OR IN SPECIFICATIONS, IT SHALL BE CONSTRUED TO MEAN THE ESTABLISHMENT OF QUALITY AND PERFORMANCE STANDARDS OF SUCH ITEMS. ALL OTHER PRODUCTS MUST BE SUBMITTED TO THE ARCHITECT FOR APPROVAL BEFORE THEY SHALL BE DEEMED EQUAL.
 - SIZE OF WOOD MEMBERS ON PLANS, BUILDING ELEVATIONS AND SECTIONS ARE SHOWN AS NOMINAL SIZE, UNLESS OTHERWISE NOTED.
 - DIMENSIONS ON PLANS ARE INDICATED FROM SURFACE TO SURFACE BETWEEN WALLS, PARTITIONS AND OTHER ITEMS EXCLUSIVE OF FINISHES.
 - WHERE INDICATED OR REQUIRED TO PERFORM THE WORK, PACK, PROTECT AND RELOCATE PANELS, FURNITURE, CABINETS & EQUIP. INDICATED FOR REUSE BY THE COLLEGE TO DESIGNATED LOCATIONS WITHIN THE BUILDING AS DIRECTED.
 - THE CONTRACTOR SHALL, UNLESS OTHERWISE PROVIDED IN THE CONTRACT DOCUMENTS, SECURE AND PAY FOR REQUIRED PERMITS(S), FEES, LICENSES AND INSPECTIONS NECESSARY FOR THE PROPER EXECUTION OF THE WORK.
 - THERE WILL BE NO CHANGE IN USE, EGRESS OR OCCUPANCY BECAUSE OF THE WORK OF THIS CONTRACT.
 - ADDITIONAL NOTES WHICH ARE APPLICABLE TO THIS PROJECT MAY BE FOUND THROUGHOUT THE CONTRACT DOCUMENTS.
 - ALL WORK LISTED ON THE CONSTRUCTION NOTES AND SHOWN OR IMPLIED ON ALL DRAWINGS SHALL BE SUPPLIED AND INSTALLED BY THE TRADE CONTRACTOR UNLESS OTHERWISE NOTED ON DRAWINGS AND/OR IN SPECIFICATIONS.
 - CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS SHOWN ON DRAWINGS AND SHALL NOTIFY DAVID SMOTRICH & PARTNERS LLP (DSP) OF ANY DISCREPANCIES, OMISSIONS, AND/OR CONFLICTS BEFORE PROCEEDING WITH THE WORK, IN THE FORM OF RFI.
 - CONTRACTOR SHALL COMPLY WITH THE RULES AND REGULATIONS OF THE BUILDING AS TO HOURS OF AVAILABILITY FOR LOADING DOCKS AND ELEVATORS FOR THE PURPOSES OF DELIVERY AND ALSO AS TO THE MANNER OF HANDLING AND STORAGE & STAGING OF MATERIALS, EQUIPMENT AND DEBRIS TO AVOID CONFLICT AND INTERFERENCE WITH NORMAL BUILDING OPERATIONS.
 - ALL DRAWINGS AND CONSTRUCTION NOTES ARE COMPLEMENTARY AND WHAT IS CALLED FOR BY ANY WILL BE BINDING AS IF CALLED FOR BY ALL.
 - THE CONTRACTOR SHALL MAINTAIN A CURRENT AND COMPLETE SET OF CONSTRUCTION DOCUMENTS AND APPROVED SUBMITTALS ON THE CONSTRUCTION SITE DURING ALL PHASES OF CONSTRUCTION.
 - THE CONTRACTOR SHALL SUPPLY, PRIOR TO COMMENCING WORK, A LIST OF ALL SUBCONTRACTORS TO DSP AND THE OWNER, WITH THE NAME, ADDRESS AND PHONE NUMBER OF THE PRINCIPAL CONTRACTOR OF EACH SUB-CONTRACTOR. IN ADDITION, HE WILL FILE WITH THE OWNER THE EMERGENCY NUMBERS AVAILABLE FOR 24-HR. CONTACT. THE OWNER & ARCHITECT TO BE NOTIFIED IF THERE IS A CHANGE IN SUBCONTRACTOR DURING THE COURSE OF THE PROJECT.
 - ALL WORK SHALL BE PERFORMED BY SKILLED AND QUALIFIED WORKMEN IN ACCORDANCE WITH THE BEST PRACTICES OF THE TRADES INVOLVED AND IN COMPLIANCE WITH BUILDING REGULATIONS AND/OR GOVERNMENTAL LAWS, STATUTES OR ORDINANCES.
 - ALL MATERIALS SHALL BE NEW UNLESS OTHERWISE NOTED. MANUFACTURED MATERIALS AND EQUIPMENT SHALL BE INSTALLED AS PER MANUFACTURER'S RECOMMENDATIONS AND INSTRUCTIONS.
 - CONTRACTOR TO BE AWARE THAT OTHER CONTRACTORS MAY BE IN THE SAME SPACE AT THE SAME TIME WORKING ON OTHER PROJECTS. LABOR HARMONY AND COOPERATION IS REQUIRED.
 - ALL APPROVALS OF SUBMITTALS SHALL BE FOR DESIGN INTENT ONLY. CONTRACTOR SHALL BE RESPONSIBLE FOR QUANTITIES, DIMENSIONS AND COMPLIANCE WITH CONTRACT DOCUMENTS AND FOR INFORMATION PERTAINING TO FABRICATION PROCESSES OR TECHNIQUES OF FIRST GLASS CONSTRUCTION AND FOR COORDINATION WITH OTHER TRADES.
 - ALL WORK SHALL BE ERECTED AND INSTALLED PLUMB, LEVEL, SQUARE, TRUE AND IN PROPER ALIGNMENT.
 - CONTRACTOR SHALL BE RESPONSIBLE FOR CUTTING, PATCHING AND RESTORATION REQUIRED FOR THIS WORK.
 - ALL CORRESPONDENCE TO ARCHITECT OR TO OWNER SHALL BE FORWARDED IN COPY TO THE OTHER PARTY.
 - THE CONTRACTOR SHALL AT ALL TIMES KEEP THE PREMISES FREE OF ACCUMULATION OF WASTE MATERIALS AND RUBBISH, PREMISES TO BE SWEPT CLEAN DAILY. AT THE COMPLETION OF THE WORK, EACH CONTRACTOR SHALL LEAVE THE JOB SITE FREE OF CONSTRUCTION DEBRIS AND MATERIALS, AND "BROOM SWEEP CLEAN" INCLUDING THOROUGH CLEANING OF TOILETS, BATHROOMS, ELECTRICAL CLOSETS, STAIRWELLS, AND ALL AREAS OF WORK OR STAGING, ETC.
 - PROVIDE ALL NECESSARY PROTECTION AGAINST DIRT AND DAMAGE WITHIN THE PREMISES, AS WELL AS PUBLIC AREAS, AND SHALL BE RESPONSIBLE FOR KEEPING THESE AREAS CLEAN AND FREE OF MATERIALS AT ALL TIMES.

Drawing List

ARCHITECTURAL	
T-000.00	COVER SHEET
G-001.00	GENERAL NOTES, LEGEND, SYMBOLS & DRAWING LIST
A-100.00	TYPICAL DIMENSION PLAN FLOORS 6 & 9
A-101.00	TYPICAL DIMENSION PLAN FLOORS 7 & 8
A-200.00	TYPICAL FINISH PLAN FLOORS 6 & 9
A-201.00	TYPICAL FINISH PLAN FLOORS 7 & 8

REV. NO.	DATE	REVISIONS
1	4/11/2024	ADDENDUM #1



Building Dept. Notes

- WORK SHALL BE EXECUTED IN FULL COMPLIANCE WITH THE APPLICABLE PROVISIONS OF ALL LAWS, BY-LAWS, STATUTES, ORDINANCES, CODES, RULES, REGULATIONS AND LAWFUL ORDERS OF PUBLIC AUTHORITIES BEARING ON THE PERFORMANCE AND EXECUTION OF THE WORK.
- THE CONTRACTOR SHALL PROMPTLY NOTIFY THE ARCHITECT OF ANY PORTIONS OF THE WORK, IN THE CONTRACT DOCUMENTS THAT ARE AT VARIANCE WITH THE ABOVE.
- ALL MATERIALS, ASSEMBLIES, FORMS, METHODS OF CONSTRUCTION AND SERVICE EQUIPMENT SHALL MEET THE FOLLOWING REQUIREMENTS:
 - THEY SHALL HAVE BEEN ACCEPTABLE PRIOR TO THE EFFECTIVE DATE OF THE CODE BY THE BOARD OF STANDARDS AND APPEALS.
- THESE DRAWINGS HAVE BEEN PREPARED BY OR AT THE DIRECTION OF THE UNDERSIGNED AND TO THE BEST OF THE UNDERSIGNED'S KNOWLEDGE, INFORMATION AND BELIEF MEET THE REQUIREMENTS OF THE BUILDING CODE.
- EMERGENCY POWER IF REQUIRED UNDER THIS CONTRACT SHALL BE INSTALLED AS PER SECTION TD-346.04
- FOLLOW CHAPTER 33 OF THE 2022 NYC BUILDING CODE (NYCBC) PROTECTION OF THE PUBLIC AND ADJACENT PROPERTIES. REFERENCES IN THE SPECIFICATIONS AND THE DRAWINGS TO THE 1968 BUILDING CODE PARAGRAPHS REGARDING PROTECTION SHALL BE CONSIDERED TO BE THAT OF CHAPTER 33 OF THE NYCBC.
- BIDDER UPON REQUEST, SHALL SUBMIT COPIES OF CURRENT LICENSES AND CERTIFICATIONS APPLICABLE TO THE WORK, INCLUDING, BUT NOT LIMITED TO, LICENSES ISSUED BY THE COMMISSIONER OF BUILDINGS OF THE CITY OF NEW YORK. PROOF OF THE FOLLOWING CERTIFICATES WILL ALSO BE REQUESTED: 10 HOUR OSHA OUTREACH TRAINING PROGRAM; ASBESTOS AWARENESS TRAINING; FIDNY CERTIFICATE OF FITNESS.

Scope Of Work

- PREP, PRIME & PAINT ALL SURFACES AS INDICATED ON PLAN AND SPECS.
- PROVIDE PROTECTION FOR ALL SURFACES AS REQUIRED.
- PAINT EXISTING SPRINKLER PIPING & SURFACE MOUNTED CONDUIT TO MATCH WALL. CONVECTORS, SPRINKLER HEADS & PIPE COVERS ARE TO REMAIN UNPAINTED AND TO BE PROTECTED FROM PAINTING.
- EXISTING BULLETIN BOARD TO BE PAINTED TO MATCH WALL. ALL OTHER SIGNAGE TO REMAIN & TO BE PAINTED AROUND.
- PRIOR TO PAINTING DOORS & FRAMES ALL SURFACES REQUIRING REPAINTING TO BE CLEANED. CONTRACTOR TO REMOVE ALL LOOSE AND FLAKING AND SAND SURFACE SMOOTH AS REQUIRED TO RECEIVE NEW PAINT. NO TELEGRAPHING OF LINES, RIDGES, FLAKES, ETC. THROUGH NEW PAINTING IS PERMITTED. WHERE THIS OCCURS, CONTRACTOR SHALL BE REQUIRED TO SAND SMOOTH AND RE-FINISH UNTIL SURFACE MEETS WITH ARCHITECT'S APPROVAL.
- THE HEADERS OF ALL EXISTING CLOSETS TO BE SECURED TO THE WALLS & CEILING USING ANGLE BRACKETS. PROVIDE ADDITIONAL SHIMS & BLOCKING AS REQUIRED. APPLY SPACKLE PUTTY TO FILL ALL VOIDS.
- ALL EXISTING VINYL BASE TO REMAIN AND BE PROTECTED.
- CONTRACTOR RESPONSIBLE FOR MOVING ALL FURNITURE TO THE CENTER OF THE ROOM AND PROTECTING IT PRIOR TO THE START OF WORK. BUILT-IN COUNTERS, FLOORING, PENDANT LIGHTING, AND VENDING MACHINES, ETC. TO BE PROTECTED THROUGHOUT THE PROJECT. CONTRACTOR WILL BE RESPONSIBLE FOR REPOSITIONING GENERALLY ALL FURNITURE ONCE THE PROJECT IS COMPLETED. NO FURNITURE IS TO BE STACKED OR TO BE STORED ANYWHERE EXCEPT INSIDE THE ROOM.
- CONTRACTOR TO PATCH & REPAIR ANY DAMAGE SHEETROCK PRIOR TO PAINTING.
- REMOVE EXISTING WINDOW SHADERS, STORE & REINSTALL AFTER THE SUBSTANTIAL COMPLETION OF THE PROJECT.

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STUDENT HOUSING CORPORATION
230 WEST 27TH ST
NEW YORK, NY 10001

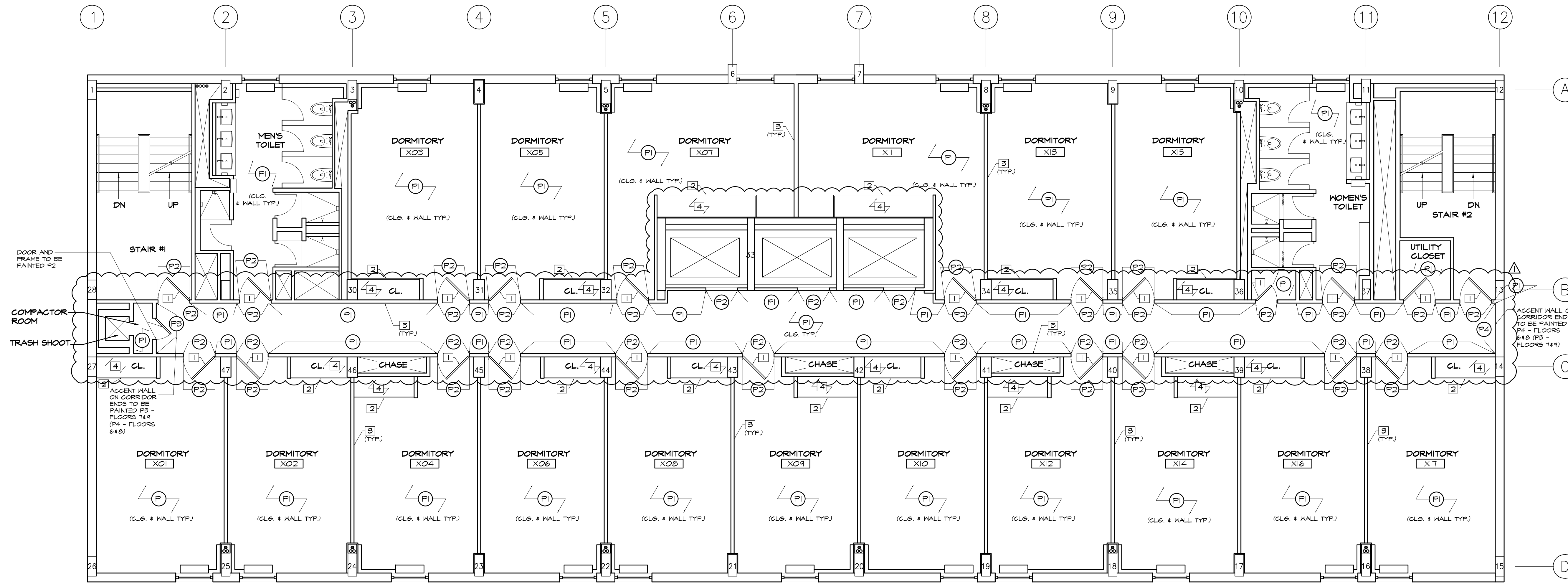
David Smotrich & Partners LLP
Architects/Planners

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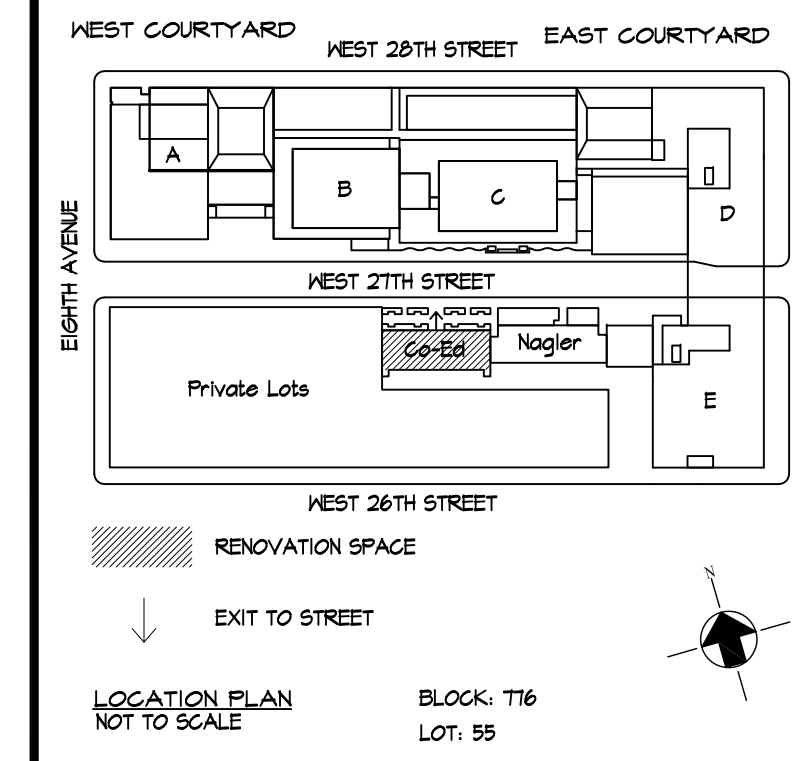
PROJECT:
COED RESIDENCE HALL
ROOMS & CORRIDOR PAINTING
FLOORS 6-9
230 W 27TH STREET
NEW YORK, NY 10001

DRAWING TITLE:
**GENERAL NOTES, LEGEND,
SYMBOLS & DRAWING LIST**

SEAL & SIGNATURE:	DATE: 3/21/2024
	PROJECT No: 2232018
	DRAWING BY: MH
	CHK BY: DH/CK
	DWG No:
	G-001.SK1
SCALE: NTS	2 of 6



rev. no.	date	revisions
Δ	4/11/2024	ADDENDUM #1



1 TYPICAL FINISH PLAN - FLOORS 6 & 9
 A-800 SCALE: 3/16" = 1'-0"

- Work Notes:**
- 1 PRIOR TO PAINTING DOORS & FRAMES ALL SURFACES REQUIRING REPAINTING TO BE CLEANED. CONTRACTOR TO REMOVE ALL LOOSE AND FLAKING AND SAND SURFACE SMOOTH AS REQUIRED TO RECEIVE NEW PAINT. NO TELEGRAPHING OF LINES, RIDGES, FLAKES, ETC. THROUGH NEW PAINTING IS PERMITTED. WHERE THIS OCCURS, CONTRACTOR SHALL BE REQUIRED TO SAND SMOOTH AND RE-FINISH UNTIL SURFACE MEETS WITH ARCHITECT'S APPROVAL.
 - 2 PRIOR TO PAINTING, THE HEADERS OF ALL EXISTING CLOSETS TO BE SECURED TO THE WALLS & CEILING USING ANGLE BRACKETS. PROVIDE ADDITIONAL SHIMS & BLOCKING AS REQUIRED. APPLY SPACKLE /PUTTY TO FILL ALL VOIDS.
 - 3 ALL EXISTING VINYL BASE TO REMAIN AND BE PROTECTED (TYP.).
 - 4 ALL INTERIOR SURFACES OF THE EXISTING CLOSETS TO BE PAINTED P1 (TYP.).

Finish Legend	Notes
PAINT	
(P1) MFR: BENJAMIN MOORE NO: 508-9 COLOR: WHITE FINISH: SEMI-GLOSS	1. ACCENT COLORS ON THE WALLS AT THE ENDS OF THE CORRIDORS ARE TO ALTERNATE BY FLOOR. REFER TO FINISH FLOOR PLAN.
(P2) MFR: BENJAMIN MOORE NO: 1544 COLOR: - BALBOA MIST FINISH: SEMI-GLOSS	2. P2 FINISH FOR CORRIDOR SIDE OF ALL DOORS & FRAMES.
(P3) MFR: BENJAMIN MOORE REGAL SELECT NO: 2025-10 COLOR: BRIGHT LIME FINISH: SEMI-GLOSS	3. ALL EXPOSED PIPING, CONDUITS, AND SURFACE MOUNTED RACEWAYS TO BE PAINTED P1 TO MATCH WALLS.
(P4) MFR: BENJAMIN MOORE REGAL SELECT NO: 2011-30 COLOR: TANGILO FINISH: SEMI-GLOSS	4. P1 FINISH FOR ALL DORM ROOM WALLS, DORM ROOM CEILINGS & CORRIDORS CEILINGS.
	5. DORM ROOM CLOSET DOORS TO BE PAINTED TO MATCH WALLS.
	6. CONVECTORS, SPRINKLER HEADS & PIPE COVERS ARE NOT TO BE PAINTED, AND TO BE PROTECTED FROM PAINTING

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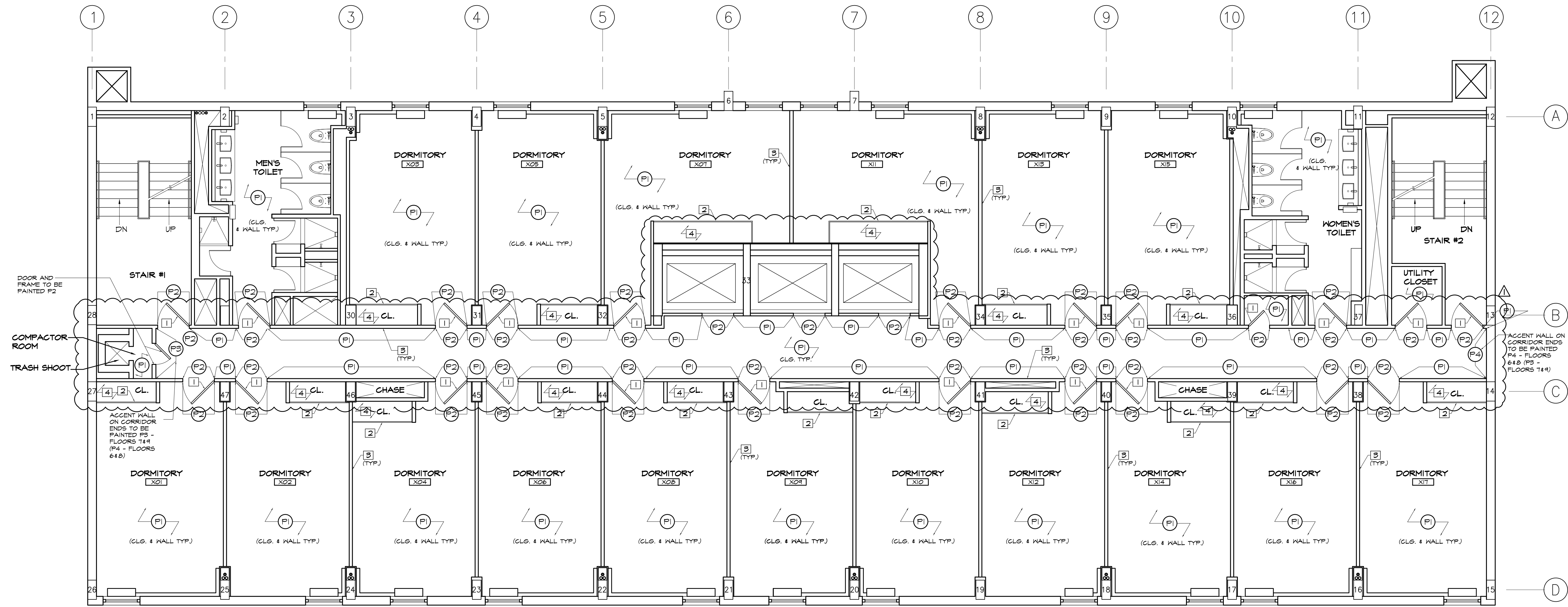
David Smotrich & Partners LLP
 Architects/Planners

443 Park Avenue South New York, NY 10016
 212 889 4045 Fax 212 889 3672

PROJECT:
 COED RESIDENCE HALL
 ROOMS & CORRIDOR PAINTING
 FLOORS 6-9
 230 W 27TH STREET
 NEW YORK, NY 10001

DRAWING TITLE:
 TYPICAL FINISH PLAN -
 FLOORS 6 & 9

SEAL & SIGNATURE:	DATE: 3/21/2024
	PROJECT No: 22320.16
	DRAWING BY: MH
	CHK BY: DH/CK
	DWG No:
	A-800.SK1
	SCALE: AS NOTED 5 of 6



1 TYPICAL FINISH PLAN - FLOORS 7 & 8
 A-80 SCALE: 3/16" = 1'-0"

Work Notes:

1 PRIOR TO PAINTING DOORS & FRAMES ALL SURFACES REQUIRING REPAINTING TO BE CLEANED. CONTRACTOR TO REMOVE ALL LOOSE AND FLAKING AND SAND SURFACE SMOOTH AS REQUIRED TO RECEIVE NEW PAINT. NO TELEGRAPHING OF LINES, RIDGES, FLAKES, ETC. THROUGH NEW PAINTING IS PERMITTED. WHERE THIS OCCURS, CONTRACTOR SHALL BE REQUIRED TO SAND SMOOTH AND RE-FINISH UNTIL SURFACE MEETS WITH ARCHITECT'S APPROVAL.

2 PRIOR TO PAINTING, THE HEADERS OF ALL EXISTING CLOSETS TO BE SECURED TO THE WALLS & CEILING USING ANGLE BUCKETS, PROVIDE ADDITIONAL SHIMS & BLOCKING AS REQUIRED. APPLY SPACKLE /PUTTY TO FILL ALL VOIDS.

3 ALL EXISTING VINYL BASE TO REMAIN AND BE PROTECTED (TYP.).

4 ALL INTERIOR SURFACES OF THE EXISTING CLOSETS TO BE PAINTED PI (TYP.).

Finish Legend	Notes
PAINT	
(P1) MFR: BENJAMIN MOORE NO: 509-4 COLOR: WHITE FINISH: SEMI-GLOSS	1. ACCENT COLORS ON THE WALLS AT THE ENDS OF THE CORRIDORS ARE TO ALTERNATE BY FLOOR. REFER TO FINISH FLOOR PLAN.
(P2) MFR: BENJAMIN MOORE NO: 1544 COLOR: - BALBOA MIST FINISH: SEMI-GLOSS	2. P2 FINISH FOR CORRIDOR SIDE OF ALL DOORS & FRAMES.
(P3) MFR: BENJAMIN MOORE REGAL SELECT NO: 2025-10 COLOR: BRIGHT LIME FINISH: SEMI-GLOSS	3. ALL EXPOSED PIPING, CONDUITS, AND SURFACE MOUNTED RACEWAYS TO BE PAINTED P1 TO MATCH WALLS.
(P4) MFR: BENJAMIN MOORE REGAL SELECT NO: 2017-30 COLOR: TANGALO FINISH: SEMI-GLOSS	4. P1 FINISH FOR ALL DORM ROOM WALLS, DORM ROOM CEILINGS & CORRIDORS CEILINGS.
	5. DORM ROOM CLOSET DOORS TO BE PAINTED TO MATCH WALLS.
	6. CONVECTORS, SPRINKLER HEADS & PIPE COVERS ARE NOT TO BE PAINTED, AND TO BE PROTECTED FROM PAINTING

REV. NO. DATE REVISIONS

4/11/2024 ADDENDUM #1

WEST COURTYARD WEST 28TH STREET EAST COURTYARD

WEST 27TH STREET

WEST 26TH STREET

RENOVATION SPACE

EXIT TO STREET

LOCATION PLAN NOT TO SCALE

BLOCK: T16 LOT: 55

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PROJECT:
 COED RESIDENCE HALL
 ROOMS & CORRIDOR PAINTING
 FLOORS 6-9
 230 W 27TH STREET
 NEW YORK, NY 10001

DRAWING TITLE:
 TYPICAL FINISH PLAN -
 FLOORS 7 & 8

SEAL & SIGNATURE:	DATE: 3/21/2024
	PROJECT No: 2232016
	DRAWING BY: MH
	CHK BY: DH/CK
	DWG No:
	A-801.SK1
	SCALE AS NOTED 6 of 6