



NOTICE TO ALL FIRMS

Date: March 31, 2022
To: All Prospective Bidders
From: Sam Li
Deputy Director for Purchasing
Re: Addendum Number 1
RFQ C1543 – CoEd Residence Hall Bathroom Renovations Floors 9 - 10

Notes:

Please find the complete set of drawings below for the subject project, which now contains the MEP drawings which were omitted from the original set.

THIS ADDENDUM IS PART OF THE CONTRACT DOCUMENT AND SHALL BE INCLUDED WITH YOUR REQUEST FOR PROPOSAL SUBMITTAL. YOUR SIGNATURE BELOW WARRANTS THAT YOU UNDERSTAND THIS ADDENDUM AND THAT YOU HAVE MADE THE APPROPRIATE ADJUSTMENTS IN YOUR PROPOSAL AND CALCULATIONS.

Signature

Print Name and Title of Authorized Representative

Print Name of Company/Partnership/Individual

Date

DRAWING LIST

ARCHITECTURAL

1. T-000.00	COVER
2. G-001.00	GENERAL NOTES, LEGEND, SYMBOLS, ABBREVIATIONS, & DRAWING LIST
3. G-002.00	FLOOD INSURANCE RATE MAP- 2013 PRELIMINARY
4. G-003.00	FLOOD INSURANCE RATE MAP- 2007
5. G-004.00	KEY PLANS, 9 TH & 10 TH FLOORS- 1/8" SCALE
6. DM-100.00	DEMOLITION PLANS & DEMOLITION RCP- 9 TH FLOOR
7. DM-101.00	DEMOLITION PLANS & DEMOLITION RCP- 10 TH FLOOR
8. A-100.00	CONSTRUCTION PLAN/RCP/INTERIOR ELEVATIONS- 9 TH FLOOR WEST
9. A-101.00	CONSTRUCTION PLAN/RCP/INTERIOR ELEVATIONS- 9 TH FLOOR EAST
10. A-102.00	CONSTRUCTION PLAN/RCP/INTERIOR ELEVATIONS- 10 TH FLOOR WEST
11. A-103.00	CONSTRUCTION PLAN/RCP/INTERIOR ELEVATIONS- 10 TH FLOOR EAST
12. A-700.00	INTERIOR DETAILS
13. A-701.00	INTERIOR DETAILS
14. A-800.00	FINISH PLANS & FIXTURES PLANS- 9 TH FLOOR
15. A-801.00	FINISH PLANS & FIXTURES PLANS- 10 TH FLOOR
16. A-802.00	SCHEDULES

ENERGY COMPLIANCE

1. EN-001.00	ENERGY CODE COMPLIANCE CALCULATIONS AND LIGHTING FIXTURE SCHEDULE
2. EN-002.00	ENERGY CODE COMPLIANCE 9 TH & 10 TH FLOOR LIGHTING PART PLANS

MECHANICAL

1. M-001.00	SYMBOLS, ANNOTATIONS AND GENERAL NOTES
2. M-100.00	9 TH FLOOR MECHANICAL PART PLANS - DEMOLITION AND NEW WORK
2. M-101.00	10 TH FLOOR MECHANICAL PART PLANS - DEMOLITION AND NEW WORK

ELECTRICAL

1. E-001.00	SYMBOL LIST, ABBREVIATIONS, NOTES & DETAILS
2. E-002.00	ELECTRICAL SPECIFICATIONS
3. E-011.00	9 TH AND 10 TH FLOORS DEMOLITION PART PLANS
4. E-101.00	9 TH FLOOR POWER PART PLAN
5. E-102.00	10 TH FLOOR POWER PART PLAN

**FASHION INSTITUTE OF TECHNOLOGY
STUDENT HOUSING CORPORATION
COED RESIDENCE HALL FLOORS 9-10
BATHROOM RENOVATIONS**

PROJECT NO. C1543

- 6. E-201.00 9TH FLOOR LIGHTING PART PLAN
- 7. E-202.00 10TH FLOOR LIGHTING PART PLAN
- 8. E-301.00 DETAILS AND LIGHTING FIXTURE SCHEDULE

PLUMBING

- 1. P-001.00 PLUMBING SYMBOLS, ABBREVIATIONS, NOTES, SCHEDULES,
AND DETAILS
- 2. P-002.00 PLUMBING SPECIFICATIONS
- 3. P-100.00 PLUMBING 9TH AND 10TH FLOORS PARTIAL PLANS
DEMOLITION AND NEW WORK

- 4. P-101.00 PLUMBING PIPING AT THE 10TH FLOOR CEILING PARTIAL
PLANS DEMOLITION AND NEW WORK

- 5. P- 200.00 PLUMBING RISER DIAGRAM

SPRINKLER

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AND DETAILS
- 2. SP-002.00 SPRINKLER SPECIFICATION
- 3. SP-100.00 SPRINKLER 9TH AND 10TH FLOORS PARTIAL PLANS
DEMOLITION AND NEW WORK
- 4. SP-200.00 SPRINKLER RISER DIAGRAM

END OF SECTION

Fashion Institute of Technology State University of New York

Student Housing Corporation Co-Ed Residence Hall Bathroom Renovations

9th & 10th Floors

Project No. C1486

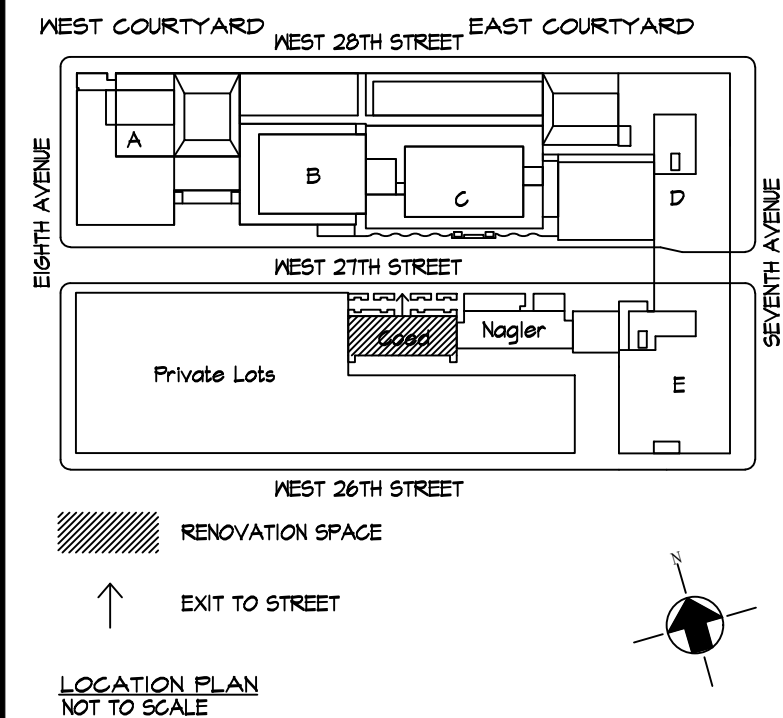
230 WEST 27TH ST
New York, NY 10001

Architects/Planners (WBE/DBE)
David Smotrich & Partners LLP

443 Park Avenue South
New York, NY 10016

March 15, 2022

REV. NO. DATE REVISIONS



Environmental Consultants

EPM, Inc.
1983 Marcus Ave. Suite 109
Lake Success, NY 11042 / (516) 328-1194

MEP Consultant
MG Engineering D.P.C.
116 West 32nd Street
New York, NY 10001 / (212) 643-9055

**Fashion Institute of Technology
Student Housing Corporation**
230 WEST 27TH STREET
NEW YORK, NY 10001

David Smotrich & Partners LLP
Architects/Planners

443 Park Avenue South
New York, NY 10016
212 889 4045 Fax 212 889 3672

PROJECT:
CO-ED RESIDENCE HALL BATHROOM
RENOVATIONS - 9TH-10TH FLOORS
230 WEST 27TH ST
NEW YORK NY 10001

DRAWING TITLE:
COVER

SEAL & SIGNATURE: DATE: 03.15.2022
PROJECT No: 13204.110
DRAWING BY: AP&TM&LX
CHK BY: CS
DWG No:
T-000.00
SCALE: NTS 1 of 16

Material Designations

	CONCRETE MASONRY UNITS
	GLASS
	GYPSUM DRYWALL/ CEMENT FILL
	INSULATION (LOOSE OR BATT)
	INSULATION (RIGID)
	METAL (SMALL SCALE)
	PLYWOOD
	STEEL (LARGE SCALE)
	TILE - CERAMIC, ACOUSTIC, VCT
	WOOD, FINISHED
	WOOD, ROUGH

Abbreviations

ACCES	ACCESSORY	INFO	INFORMATION
ACOUS	ACOUSTICAL		
AFF	ABOVE FINISHED FLOOR	MFD	MANUFACTURED
AL	ALUMINUM	MFR	MANUFACTURER
ALT	ALTERNATE	MECH	MECHANICAL
ANOD	ANODIZED	MTL	METAL
APFL	APPLIANCE	MIN	MINIMUM
ARCH	ARCHITECTURAL	MISC	MISCELLANEOUS
		MLWK	MILLWORK
		MTD	MOUNTED
BLDG	BUILDING	NIC	NOT IN CONTRACT
BD	BOARD	NTS	NOT TO SCALE
BLKG	BLOCKING		
BO	BOTTOM OF	OFF HAND	OPPOSITE HAND
CAB	CABINET	PLYWD	PLYWOOD
CPT	CARPET	RCP	REFLECTED CEILING PLAN
CLG	CEILING		
COATG	COATING		
CONC	CONCRETE	RFI	REQUEST FOR INFORMATION
CONSTR	CONSTRUCTION		
COV	COVER	RM	ROOM
CMU	CONCRETE MASONRY UNIT	RO	ROUGH OPENING
DBL	DOUBLE	SF	SQUARE FEET
DEPT	DEPARTMENT	SIM	SIMILAR
DET	DETAIL	SMC	SURFACE MOUNTED
DIA	DIAMETER		
DIFF	DIFFUSER	SS	STAINLESS STEEL
DIM	DIMENSION	STD	STANDARD
DN	DOWN	STL	STEEL
DR	DOOR	SUSP	SUSPENDED
DRGSS	DRAWINGS	THK	THICK
		TOP	TOP OF
ELEC	ELECTRICAL	TYP	TYPICAL
ENG	ENGINEER		
EQ	EQUAL		
EQUIP	EQUIPMENT	UON	UNLESS OTHERWISE NOTED
ETC	ETCETERA		
EXIST	EXISTING	VIF	VERIFY IN FIELD
EXT	EXTERIOR		
FAB	FABRICATION	W	WITH
FEC	FIRE EXTINGUISHER	WO	WOOD
		W/O	WITHOUT
		WT	WEIGHT
FIN	FINISH		
FR	FIRE RAT(ING/ED)		
GA	GAUGE		
GC	GENERAL CONTRACTOR		
GL	GLASS		
GYP	GYPSUM		
HD	HEAD		
HDWD	HARDWOOD		
HDWE	HARDWARE		
HM	HOLLOW METAL		
HVAC	HEATING, VENTILATION, AND AIR CONDITIONING		

Special Inspections

SPECIAL INSPECTIONS REQUIRED IN ACCORDANCE WITH CHAPTER 17 AND THE APPLICABLE SECTIONS OF THE NYC CONSTRUCTION CODE ARE LISTED IN THE FOLLOWING TABLES:

THE CONTRACTOR MUST NOTIFY THE ARCHITECT OR ENGINEER FOR SPECIAL INSPECTIONS AT LEAST 72 HOURS BEFORE THE SPECIFIC WORK COMMENCES.

NOTE: REQUIRED INSPECTIONS AND TESTS OF MATERIALS DESIGNATED FOR "SPECIAL INSPECTION" BY THE CONTRACTOR SHALL BE MADE UNDER THE DIRECT SUPERVISION OF A LICENSED ARCHITECT OR ENGINEER RETAINED BY OR ON THE BEHALF OF THE CONTRACTOR WHO SHALL BE ACCEPTABLE TO THE ARCHITECT OR ENGINEER WHO SUPERVISED THE PREPARATION OF THE PLANS.

FIRE RESISTANT PENETRATIONS AND JOINTS
FIRE RATED CONSTRUCTION
FINAL INSPECTION

BC 1704.27
BC 1103.4
28-116.2.4.2, BC 100.5

Graphic Symbols

	SECTION LETTER
	BUILDING SECTION REFERENCE
	DETAIL NO.
	WALL SECTION OR DETAIL REFERENCE
	DETAIL NUMBER
	DETAIL REFERENCE
	ELEVATION NUMBER
	WALL ELEVATION REFERENCE
	NORTH INDICATOR
	REVISION NO.
	DOOR TYPE NO.
	WINDOW NO.
	ROOM/SPACE NO.
	CENTERLINE
	PARTITION TYPE INDICATOR
	LEVEL LINE
	ALIGN
	APPLIANCE AND PLUMBING FIXTURE DESIGNATION
	FLOORING DESIGNATION BASE DESIGNATION
	WALL MATERIAL DESIGNATION
	HIDDEN LINES OR REMOVALS
	EXISTING WORK TO REMAIN
	EXISTING WORK TO BE REMOVED
	NEW INFILL
	NEW PARTITIONS
	EXISTING DOOR & FRAME TO REMAIN
	NEW DOOR & FRAME W/ DOOR NUMBER
	EXISTING DOOR & FRAME TO BE REMOVED
	EXISTING SUSPENDED CEILING TO BE REMOVED
	EXIT SIGN
	EXIT SIGN W/ DIRECTIONAL ARROWS
	ELECTRICAL OUTLET DUPLEX
	ELECTRICAL OUTLET QUADRUPLEX
	DATA OUTLET
	JUNCTION BOX
	SWITCH
	3-WAY LIGHT SWITCH, DIMMER
	3-WAY LIGHT SWITCH, EMERGENCY NIGHT LIGHT
	3-WAY LIGHT SWITCH, DIMMER
	THERMOSTAT
	OCCUPANT SENSOR
	CLOCK
	EMERGENCY TELEPHONE
	DRINKING FOUNTAIN
	FLOOR OUTLET
	A/V SPEAKER, CEILING MOUNTED

General Notes

THE FOLLOWING NOTES SHALL APPLY THROUGHOUT. EXCEPTIONS ARE SPECIFICALLY NOTED ON EACH DRAWING.

- ALL WORK OF THIS CONTRACT SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITION OF THE NEW YORK CITY BUILDING CODE AND REGULATIONS OF OTHER AGENCIES HAVING JURISDICTION ON THE WORK OF THIS CONTRACT.
- DO NOT SCALE DRAWINGS; DIMENSIONS SHOWN GOVERN. LARGER SCALE DRAWINGS SHALL GOVERN OVER SMALLER SCALE. USE DIMENSIONS ONLY. ALL DIMENSIONS AND CONDITIONS SHOWN AND ASSUMED ON THE DRAWINGS MUST BE VERIFIED AT THE SITE BY THE CONTRACTOR BEFORE ORDERING ANY MATERIAL OR DOING ANY WORK. ANY DISCREPANCIES IN THE DRAWINGS AND SPECIFICATIONS SHALL BE REPORTED TO THE ARCHITECT. NO CHANGE IN DRAWINGS OR SPECIFICATIONS IS PERMISSIBLE WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT/ENGINEER. NO WORK SHALL PROCEED UNTIL SUCH DISCREPANCY HAS BEEN RECTIFIED.
- ALL WORK ON THESE DRAWINGS SHALL BE CONSIDERED NEW WORK WHETHER STATED OR NOT EXCEPT WHERE SPECIFICALLY NOTED AS 'EXISTING TO REMAIN'.
- COORDINATION OF ALL WORK UNDER THIS CONTRACT SHALL BE MAINTAINED TO ENSURE THE QUALITY AND TIMELY COMPLETION OF THE WORK/PROJECT.
- THE CONTRACTOR SHALL DISCONNECT AND/OR REMOVE ANY EXISTING PLUMBING, ELECTRICAL FIXTURES, WIRE CONDUITS, OR OTHER WORK WHICH MIGHT INTERFERE WITH THE WORK OF THIS CONTRACT. AFTER NEW WORK IS COMPLETED, THE DISCONNECTED OR REMOVED ITEMS SHALL BE REINSTALLED BY THE CONTRACTOR AT THE SAME LOCATION OR AT NEW LOCATION IF INDICATED ON DRAWINGS. CONTRACTOR TO FURNISH ALL NECESSARY NEW MATERIALS/HARDWARE FOR COMPLETION OF WORK.
- THE CONTRACTOR SHALL PATCH, REPAIR OR REPLACE ALL DAMAGED OR EXPOSED SURFACES DUE TO CONTRACT WORK. ALL NEARLY INSTALLED, PATCHED WORK AND ALL AFFECTED AREAS SHALL BE PAINTED OR FINISHED AS INDICATED OR TO MATCH EXISTING. ALL WORK SHALL BE PERFORMED TO COVER THE ENTIRE HORIZONTAL OR VERTICAL SURFACE TO THE CLOSEST CORNER IN ALL FOUR DIRECTIONS TO MATCH EXISTING CONDITIONS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ADEQUATELY BRACING AND PROTECTING ALL WORK DURING CONSTRUCTION AGAINST DAMAGE, BREAKAGE, COLLAPSE, DISTORTIONS AND INCORRECT ALIGNMENTS ACCORDING TO ALL APPLICABLE CODES AND STANDARDS OF GOOD PRACTICE.
- THE CONTRACTOR SHALL INCLUDE ALL PREPARATORY AND ASSOCIATED SUPPLEMENTARY WORK TO PROVIDE A COMPLETE AND FINISHED INSTALLATION.
- WHERE MANUFACTURER'S NAMES AND PRODUCT NUMBERS ARE INDICATED ON DRAWINGS, IT SHALL BE CONSTRUED TO MEAN THE ESTABLISHMENT OF QUALITY AND PERFORMANCE STANDARDS OF SUCH ITEMS. ALL OTHER PRODUCTS MUST BE SUBMITTED TO THE ARCHITECT FOR APPROVAL BEFORE THEY SHALL BE DEEMED EQUAL.
- FIRESTOPPING SHALL BE INSTALLED AT ALL NEW & EXISTING PENETRATIONS OF FIRE RATED CONSTRUCTION AS PER SPECIFICATIONS.
- SIZE OF MASONRY UNITS AND WOOD MEMBERS ON PLANS, BUILDING ELEVATIONS AND SECTIONS ARE SHOWN AS NOMINAL SIZE, UNLESS OTHERWISE NOTED.
- DIMENSIONS ON PLANS ARE INDICATED FROM SURFACE TO SURFACE BETWEEN WALLS, PARTITIONS AND OTHER ITEMS EXCLUSIVE OF FINISHES.
- PROVIDE GUARDS, RAILS, BARRICADES, FENCES, NIGHT LIGHTING, ETC., AS REQUIRED BY THE NEW YORK CITY BUILDING CODE, SECTION 1901.5 AND AS REQUIRED TO PROVIDE ADEQUATE PROTECTION.
- WHERE INDICATED OR REQUIRED TO PERFORM THE WORK, PACK, PROTECT AND RELOCATE PANELS, FURNITURE, CABINETS & EQUIP. INDICATED TO BE MOVED BY THE COLLECTOR TO DESIGNATED LOCATIONS WITHIN THE BUILDING AS DIRECTED.
- THE CONTRACTOR SHALL, UNLESS OTHERWISE PROVIDED IN THE CONTRACT DOCUMENTS, SECURE AND PAY FOR REQUIRED PERMITS(S), FEES, LICENSE, INSURANCE AND INSPECTIONS NECESSARY FOR THE PROPER EXECUTION OF THE WORK.
- THERE WILL BE NO CHANGE IN USE, EGRESS OR OCCUPANCY BECAUSE OF THE WORK OF THIS CONTRACT.
- ADDITIONAL NOTES WHICH ARE APPLICABLE TO THIS PROJECT MAY BE FOUND THROUGHOUT THE CONTRACT DOCUMENTS.
- ALL WORK LISTED ON THE CONSTRUCTION NOTES AND SHOWN OR IMPLIED ON ALL DRAWINGS SHALL BE SUPPLIED AND INSTALLED BY THE TRADE CONTRACTOR UNLESS OTHERWISE NOTED ON DRAWINGS AND/OR IN SPECIFICATIONS.
- CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS SHOWN ON DRAWINGS AND SHALL NOTIFY DAVID SMOTRICH & PARTNERS LLP (D&P) OF ANY DISCREPANCIES, OMISSIONS, AND/OR CONFLICTS BEFORE PROCEEDING WITH THE WORK.
- CONTRACTOR MUST COMPLY WITH THE RULES AND REGULATIONS OF ALL AGENCIES HAVING JURISDICTION AND SHALL CONFORM TO ALL CONSTRUCTION AND SAFETY CODES, STATUTES AND ORDINANCES. ALL FEES, TAXES, PERMITS, INSURANCE AND APPLICATIONS OF ALL WORK WITHIN GOVERNMENTAL AGENCIES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- CONTRACTOR SHALL COMPLY WITH THE RULES AND REGULATIONS OF THE BUILDING AS TO HOURS OF AVAILABILITY FOR ELEVATORS FOR THE PURPOSES OF DELIVERY AND ALSO AS TO THE MANNER OF HANDLING AND STORAGE & STAGING OF MATERIALS, EQUIPMENT AND DEBRIS TO AVOID CONFLICT AND INTERFERENCE WITH NORMAL BUILDING OPERATIONS. THIS BUILDING HAS NO LOADING DOCK.
- ALL DRAWINGS AND CONSTRUCTION NOTES ARE COMPLEMENTARY AND WHAT IS CALLED FOR BY ANY WILL BE BINDING AS IF CALLED FOR BY ALL.
- THE CONTRACTOR SHALL MAINTAIN A CURRENT AND COMPLETE SET OF CONSTRUCTION DOCUMENTS AND SUBMITTALS ON THE CONSTRUCTION SITE DURING ALL PHASES OF CONSTRUCTION.
- THE CONTRACTOR SHALL SUPPLY, PRIOR TO COMMENCING WORK, A LIST OF ALL SUBCONTRACTORS TO D&P AND THE OWNER, WITH THE NAME, ADDRESS AND PHONE NUMBER OF THE PRINCIPAL CONTACT OF EACH SUB-CONTRACTOR. IN ADDITION, HE WILL FILE WITH THE OWNER THE EMERGENCY NUMBERS AVAILABLE FOR 24-HR. CONTACT. THE OWNER & ARCHITECT TO BE NOTIFIED IF THERE IS A CHANGE IN SUBCONTRACTOR DURING THE COURSE OF THE PROJECT.
- ALL WORK SHALL BE PERFORMED BY SKILLED AND QUALIFIED WORKMEN IN ACCORDANCE WITH THE BEST PRACTICES OF THE TRADES INVOLVED AND IN COMPLIANCE WITH BUILDING REGULATIONS AND/OR GOVERNMENTAL LAWS, STATUTES OR ORDINANCES.
- ALL MATERIALS SHALL BE NEW UNLESS AND OF THE HIGHEST QUALITY, UNLESS OTHERWISE NOTED. MANUFACTURED MATERIALS AND EQUIPMENT SHALL BE INSTALLED AS PER MANUFACTURER'S RECOMMENDATIONS AND INSTRUCTIONS.
- CONTRACTOR TO BE AWARE THAT OTHER CONTRACTORS MAY BE WORKING IN THE SAME SPACE AT THE SAME TIME WORKING ON OTHER PROJECTS. LABOR HARMONY AND COOPERATION IS REQUIRED.

- ALL APPROVALS OF SUBMITTALS SHALL BE FOR DESIGN INTENT ONLY. CONTRACTOR SHALL BE RESPONSIBLE FOR QUANTITIES, DIMENSIONS AND COMPLIANCE WITH CONTRACT DOCUMENTS AND FOR INFORMATION PERTAINING TO FABRICATION PROCESSES OR TECHNIQUES OF FIRST CLASS CONSTRUCTION AND FOR COORDINATION WITH OTHER TRADES.
- ALL WORK SHALL BE ERECTED AND INSTALLED PLUMB, LEVEL, SQUARE, TRUE AND IN PROPER ALIGNMENT.
- CONTRACTOR SHALL BE RESPONSIBLE FOR CUTTING, PATCHING AND RESTORATION REQUIRED FOR THIS WORK.
- ALL CORRESPONDENCE TO ARCHITECT OR TO OWNER SHALL BE FORWARDED IN COPY TO THE OTHER PARTY.
- THE CONTRACTOR SHALL AT ALL TIMES KEEP THE PREMISES FREE OF ACCUMULATION OF WASTE MATERIALS AND RUBBISH. PREMISES TO BE SWEEP CLEAN DAILY. AT THE COMPLETION OF THE WORK, EACH CONTRACTOR SHALL LEAVE THE JOB SITE FREE OF CONSTRUCTION DEBRIS AND MATERIALS, AND "BROOM CLEAN" INCLUDING THOROUGH CLEANING OF TOILETS, BATHROOMS, ELECTRICAL CLOSETS, STAIRWELLS, AND ALL AREAS OF WORK OR STAGING, ETC.
- PROVIDE ALL NECESSARY PROTECTION AGAINST DIRT AND DAMAGE WITHIN THE PREMISES, AS WELL AS PUBLIC AREAS, AND SHALL BE RESPONSIBLE FOR KEEPING THESE AREAS CLEAN AND FREE OF MATERIALS AT ALL TIMES.
- THE CONTRACTOR SHALL VERIFY LOCATION OF EXISTING UTILITIES AND COORDINATE WITH LOCATION SHOWN ON DRAWINGS.
- THE CONTRACTOR SHALL CHECK FOR ALL BROKEN OR CRACKED WINDOW GLAZING PRIOR TO START OF CONSTRUCTION AND SHALL REPORT SUCH CONDITIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL WINDOW GLAZING LATER FOUND TO BE DAMAGED OR MISSING.
- DURING CONSTRUCTION, SECURITY AND FIRE EXIT DOORS & EXIT PASSAGEWAYS MUST REMAIN UNOBSTRUCTED AT ALL TIMES.
- THE CONTRACTOR SHALL TAKE EVERY PRECAUTION TO PROPERLY PROTECT ALL EXISTING CONSTRUCTION TO REMAIN. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DAMAGED AREAS TO BE RETURNED TO ORIGINAL CONDITION, AT NO EXTRA COST TO THE OWNER.
- THE CONTRACTOR SHALL SCHEDULE CONSTRUCTION IN SUCH A MANNER SO AS NOT TO DISTURB AREAS OUTSIDE OF THE AREA UNDER CONSTRUCTION DURING NORMAL OPERATING HRS. THE CONTRACTOR SHALL COORDINATE WITH ARCHITECT AND COLLEGE FACILITIES DEPT., PRIOR TO ANY DISRUPTION OF SERVICES TO THOSE AREAS NOT UNDER CONSTRUCTION EVEN IF SUCH A DISRUPTION OCCURS AFTER NORMAL OPERATING HRS.

Building Dept. Notes

THE FOLLOWING NOTES SHALL APPLY THROUGHOUT: (CHUTES, PLACES OF ASSEMBLY, STAIRWELL SYSTEMS, ELEVATORS, FIRE PROTECTION, PLAN CONSTRUCTION FENCES, EMERGENCY GENERATOR SIDEWALK SHEDS)

- WORK SHALL BE EXECUTED IN FULL COMPLIANCE WITH THE APPLICABLE PROVISIONS OF ALL LAWS, BY-LAWS, STATUTES, ORDINANCES, CODES, RULES, REGULATIONS AND LAWFUL ORDERS OF PUBLIC AUTHORITIES BEARING ON THE PERFORMANCE AND EXECUTION OF THE WORK.
- THE CONTRACTOR SHALL PROMPTLY NOTIFY THE ARCHITECT OF ANY VARIANCE WITH THE ABOVE.
- ALL MATERIALS, ASSEMBLIES, FORMS, METHODS OF CONSTRUCTION AND SERVICE EQUIPMENT SHALL MEET THE FOLLOWING REQUIREMENTS:
 - THEY SHALL HAVE BEEN ACCEPTABLE PRIOR TO THE EFFECTIVE DATE OF THE CODE BY THE BOARD OF STANDARDS AND APPEALS.
 - THEY SHALL HAVE BEEN ACCEPTED FOR THE USE UNDER THE PRESCRIBED TEST METHODS BY THE COMMISSIONER (OR)
 - APPROVED BY THE OFFICE OF TECHNICAL CERTIFICATION AND RESEARCH (OTCR)
- THESE DRAWINGS HAVE BEEN PREPARED BY OR AT THE DIRECTION OF THE UNDERSIGNED AND TO THE BEST OF THE UNDERSIGNED'S KNOWLEDGE, INFORMATION AND BELIEF MEET THE REQUIREMENTS OF THE BUILDING CODE.
- ALL WORK SHALL COMPLY WITH ANSI IIT1 AND LOCAL LAW 50.
- ALL NEW WORK SHALL COMPLY WITH NEW YORK STATE ENERGY CODE.
- ALL NEW INTERIOR FINISHES SHALL BE CONSTRUCTED OF MATERIALS MEETING SECTION 27-524 FOR FLAME SPREAD RATINGS.
- THE CONTRACTOR IS RESPONSIBLE FOR FILING APPLICATION AND OBTAINING PERMITS FOR ANY CONSTRUCTION EQUIPMENT OR PUBLIC PROTECTIVES REQUIRED TO ENSURE SAFETY OF OPERATION AND THE PUBLIC AS PER NYC CONSTRUCTION CODE, CHAPTER 33, SECTION BC3307. THE CONTRACTOR IS ALSO RESPONSIBLE FOR OBTAINING CONSTRUCTION PERMITS.
- EMERGENCY POWER, IF REQUIRED UNDER THIS CONTRACT SHALL BE INSTALLED AS PER SECTION 27-346.04
- FOLLOW CHAPTER 33 OF THE 2009 NYC CONSTRUCTION CODE(NYCCC) PROTECTION OF THE PUBLIC AND ADJACENT PROPERTIES REFERENCES IN THE SPECIFICATIONS AND THE DRAWINGS TO THE 1968 BUILDING CODE PARAGRAPHS REGARDING PROTECTION SHALL BE CONSIDERED TO BE THAT OF CHAPTER 33 OF THE NYCCC.
- BIDDER, UPON REQUEST, SHALL SUBMIT COPIES OF CURRENT LICENSES AND CERTIFICATIONS APPLICABLE TO THE WORK, INCLUDING, BUT NOT LIMITED TO, LICENSES ISSUED BY THE COMMISSIONER OF BUILDINGS OF THE CITY OF NEW YORK. PROOF OF THE FOLLOWING CERTIFICATES WILL ALSO BE REQUESTED: 10 HOUR OSHA OUTREACH TRAINING PROGRAM; ASBESTOS AWARENESS TRAINING; PDNY CERTIFICATE OF FITNESS.

Building Code Analysis

CODE REFERENCE- 1968 NYC BUILDING CODE
USE/OCCUPANCY GROUP- R-2
NO CHANGE IN USE OR OCCUPANCY

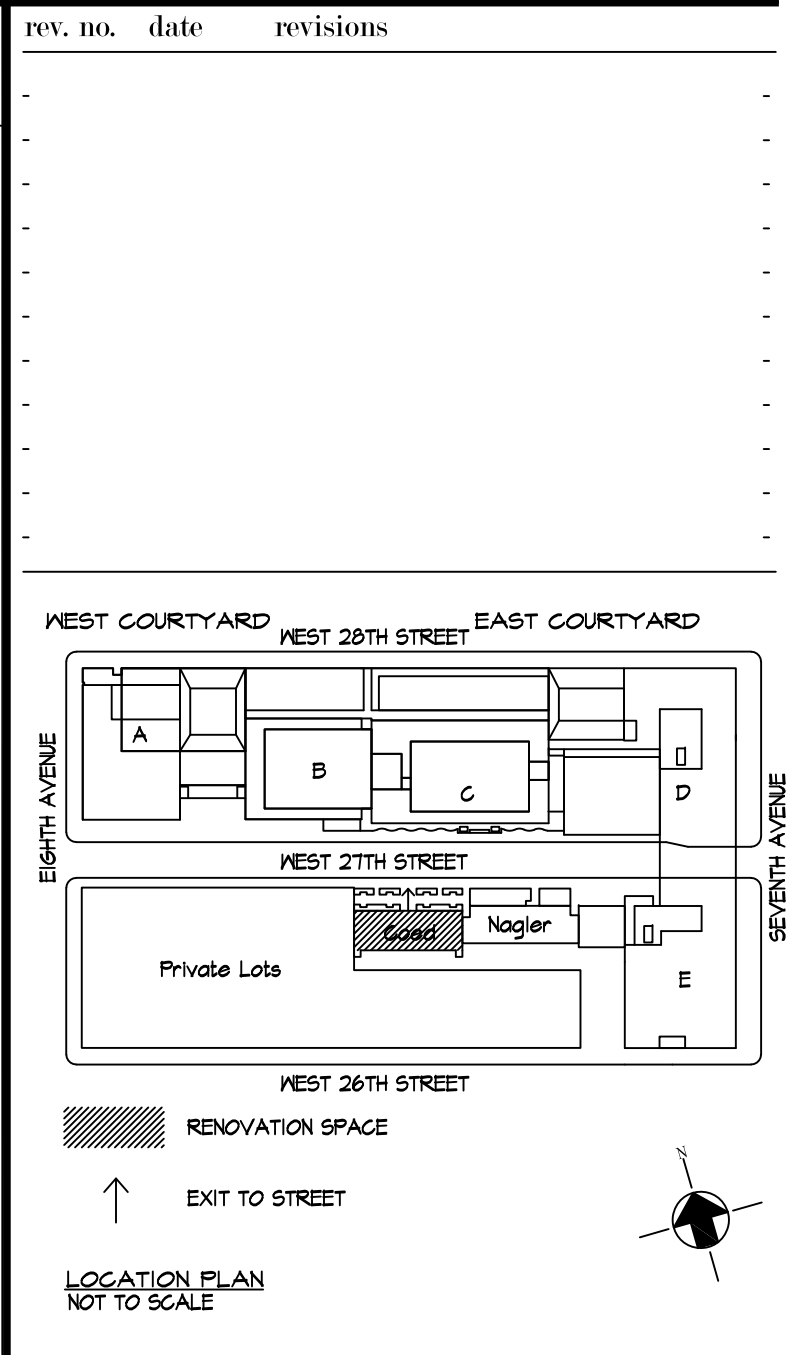
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Scope Of Work

- DEMOLITION**
- REMOVE EXISTING CONSTRUCTION AS INDICATED ON PLANS INCLUDING ANY EXPOSED BOLTS, SUPPORTS, BRACKETS, CLEATS, RECESSED SHOWER TRACKS, CONDUITS AND OTHER ITEMS, THAT ARE NO LONGER REQUIRED FOR THE PURPOSE FOR WHICH THEY WERE ORIGINALLY INSTALLED.
 - REMOVE ENTIRE EXISTING TILE FLOOR SETTING BED, SHOWER PANS, ETC. TO ORIGINAL SLAB. PROTECT & CAP EXISTING DRAIN AREAS.
 - REMOVE ALL EXISTING WALL TILE, SHOWER SURROUNDS (AND CLGS.), FASTENERS AND SUBSTRATE TO FACE OF EXISTING STUDS AS INDICATED ON DOCUMENTS.
 - CONTRACTOR TO ASSUME 10% OF EXISTING STUDS ARE DAMAGED & WILL REQUIRE REPLACEMENT. CONTRACTOR TO INCLUDE IN BID REMOVAL & INSTALLATION OF 10% OF STUDS, AT NO EXTRA COST TO OWNER.
 - SCAFF AND SAND EXISTING CONCRETE CEILING (PAINTED "COURSE SAND FINISH") TO BE LAMINATED WITH NEW WATER RESISTANCE GMB.
 - TEMPORARILY CAP EXPOSED PIPING/ WIRING UNTIL READY TO INSTALL NEW APPLIANCES/FIXTURES.
 - REMOVE ABANDONED CONDUITS ONLY AFTER TESTING FOR "LIVE" AND VERIFYING WITH OWNER THEY ARE NO LONGER IN USE.
 - AVOID DAMAGING EXISTING ELECTRIC CONDUITS TO REMAIN; VERIFY CONDITIONS AT EACH UNIT.
 - REMOVE ALL DEBRIS FROM INTERIOR OF CHASE TO BROOM CLEAN.
 - EXISTING FANCOIL UNIT & COVER TO REMAIN.

- CONSTRUCTION**
- INSTALLATION OF NEW PARTITIONS AS INDICATED ON CONTRACT DOCUMENTS
 - INSTALLATION OF NEW TOILET PARTITIONS IN EXISTING LOCATIONS
 - INSTALLATION OF NEW PLUMBING FIXTURES IN EXISTING LOCATIONS
 - INSTALLATION OF NEW TOILET ACCESSORIES AS INDICATED ON CONTRACT DOCUMENTS
 - INSTALLATION OF NEW SHOWER PAN & CURBS AS INDICATED ON CONTRACT DOCUMENTS
 - INSTALLATION OF NEW FINISHES AS INDICATED ON CONTRACT DOCUMENTS
 - INSTALLATION OF NEW H.M. DOORS, H.M. FRAMES, & HARDWARE AS INDICATED ON CONTRACT DOCUMENTS
 - INSTALLATION OF NEW LIGHT FIXTURES AS INDICATED ON CONTRACT DOCUMENTS
 - SEE MEP DRAWINGS FOR FURTHER SCOPE INFORMATION.
 - CONTRACTOR TO ASSUME 10% OF EXISTING STUDS ARE DAMAGED & WILL REQUIRE REPLACEMENT. CONTRACTOR TO INCLUDE IN BID REMOVAL & INSTALLATION OF 10% OF STUDS, AT NO EXTRA COST TO OWNER.



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230 WEST 27TH STREET
NEW YORK, NY 10001

David Smotrich & Partners LLP
Architects/Planners

443 Park Avenue South
New York, NY 10016
212 889 4045 Fax 212 889 3672

PROJECT:
CO-ED RESIDENCE HALL BATHROOM RENOVATIONS - 9TH-10TH FLOORS
230 WEST 27TH ST
NEW YORK, NY 10001

DRAWING TITLE:
GENERAL NOTES, LEGEND, SYMBOLS, ABBREVIATIONS, & DRAWING LIST

SEAL & SIGNATURE:

DATE: 03.15.2022
PROJECT No: 13284.110
DRAWING BY: AP&TM&LX
CHK BY: GS
DWG No:
G-001.00
SCALE: NTS 2 of 16



LEGEND

SPECIAL FLOOD HAZARD AREAS SUBJECT TO INUNDATION BY THE 1% ANNUAL CHANCE FLOOD
 The 1% annual flood (100-year flood), also known as the base flood, is the flood that has a 1% chance of being equaled or exceeded in any given year. The Special Flood Hazard Areas are the areas subject to flooding by the 1% annual chance flood. Areas of Special Flood Hazard include Zones A, AE, AH, AO, AR, AR/AI, AR/AI-30, V, and VE. The Base Flood Elevation is the water surface elevation of the 1% annual chance flood.

ZONE A
 No Base Flood Elevations determined.
 Base Flood Elevations determined.

ZONE AE
 Flood depths of 1 to 3 feet (usually areas of ponding); Base Flood Elevations determined.

ZONE AH
 Flood depths of 1 to 3 feet (usually areas of ponding); average depths determined. For areas of alluvial fan flooding, velocities also determined.

ZONE AD
 Special Flood Hazard Area formerly protected from the 1% annual chance flood by a flood control system that was subsequently decreed. Zone AH indicates that the former flood control system is being restored to provide protection from the 1% annual chance or greater flood.

ZONE AR
 Area to be protected from 1% annual chance flood by a Federal flood protection system under construction; no Base Flood Elevations determined.

ZONE AR/30
 Coastal flood zone with velocity hazard (wave action); no Base Flood Elevations determined.

ZONE V
 Coastal flood zone with velocity hazard (wave action); Base Flood Elevations determined.

ZONE VE
 Coastal flood zone with velocity hazard (wave action); Base Flood Elevations determined.

FLOODWAY AREAS IN ZONE AE
 The floodway is the channel of a stream plus any adjacent floodplain areas that must be kept free of encroachment so that the 1% annual chance flood can be carried without substantial increases in flood heights.

OTHER FLOOD AREAS
ZONE X
 Areas of 0.2% annual chance flood; areas of 1% annual chance flood with average depths of less than 1 foot or with drainage areas less than 1 square mile and are not protected by levees from the 1% annual chance flood.

OTHER AREAS
ZONE D
 Areas determined to be outside the 0.2% annual chance floodplain, but possible.

COASTAL BARRIER RESOURCES SYSTEM (CBRS) AREAS
OTHERWISE PROTECTED AREAS (OPAs)

CBRS areas and OPAs are normally located within or adjacent to Special Flood Hazard Areas.
 1% annual chance floodplain boundary
 0.2% annual chance floodplain boundary
 Floodway boundary
 Zone D boundary
 CBRS and OPA boundary
 Boundary dividing Special Flood Hazard Area Zones and boundary dividing Special Flood Hazard Areas of different Base Flood Elevations, flood depths or flood velocities.
 Limit of Moderate Wave Action
 Base Flood Elevation line and value; elevation in feet* (EL 987)
 Base Flood Elevation value where uniform within zone; elevation in feet*
 * Referenced to the North American Vertical Datum of 1989
 Cross section line
 Traversed line
 Culvert, Flume, Fenestock or Aqueduct
 Road or Railroad Bridge
 Footbridge
 Geographic coordinates referenced to the North American Datum of 1983 (NAD 83), Western Hemisphere
 1000-meter Universal Transverse Mercator grid values, zone 18
 600000 FT
 DX5510 x
 M 1:5
 River Mile
 MAP REPOSITORY
 Refer to listing of Map Repositories on Map Index
 INITIAL NFIP MAP DATE
 June 26, 1974
 FLOOD HAZARD BOUNDARY MAP REVISIONS
 June 11, 1976
 FLOOD INSURANCE RATE MAP EFFECTIVE
 November 15, 1983
 FLOOD INSURANCE RATE MAP REVISIONS

For descriptions of revisions see Notice to Users page in the Flood Insurance Study report.

To determine if flood insurance is available in this community, contact your Insurance agent or call the National Flood Insurance Program at 1-800-858-6020.

MAP SCALE 1" = 600'
 0 300 600 900 1200
 FEET
 0 150 300 450
 METERS

PANEL 0201G

FIRM
 FLOOD INSURANCE RATE MAP

CITY OF,
 NEW YORK
 NEW YORK
 BRONX, RICHMOND, NEW YORK,
 QUEENS, AND KINGS COUNTIES

PANEL 201 OF 457
 (SEE MAP INDEX FOR FIRM PANEL LAYOUT)

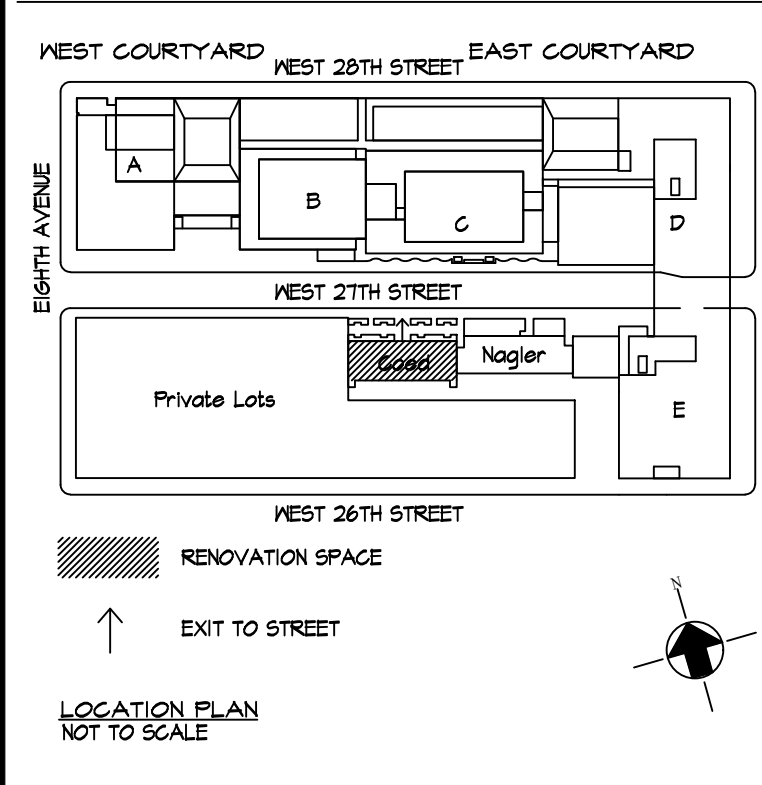
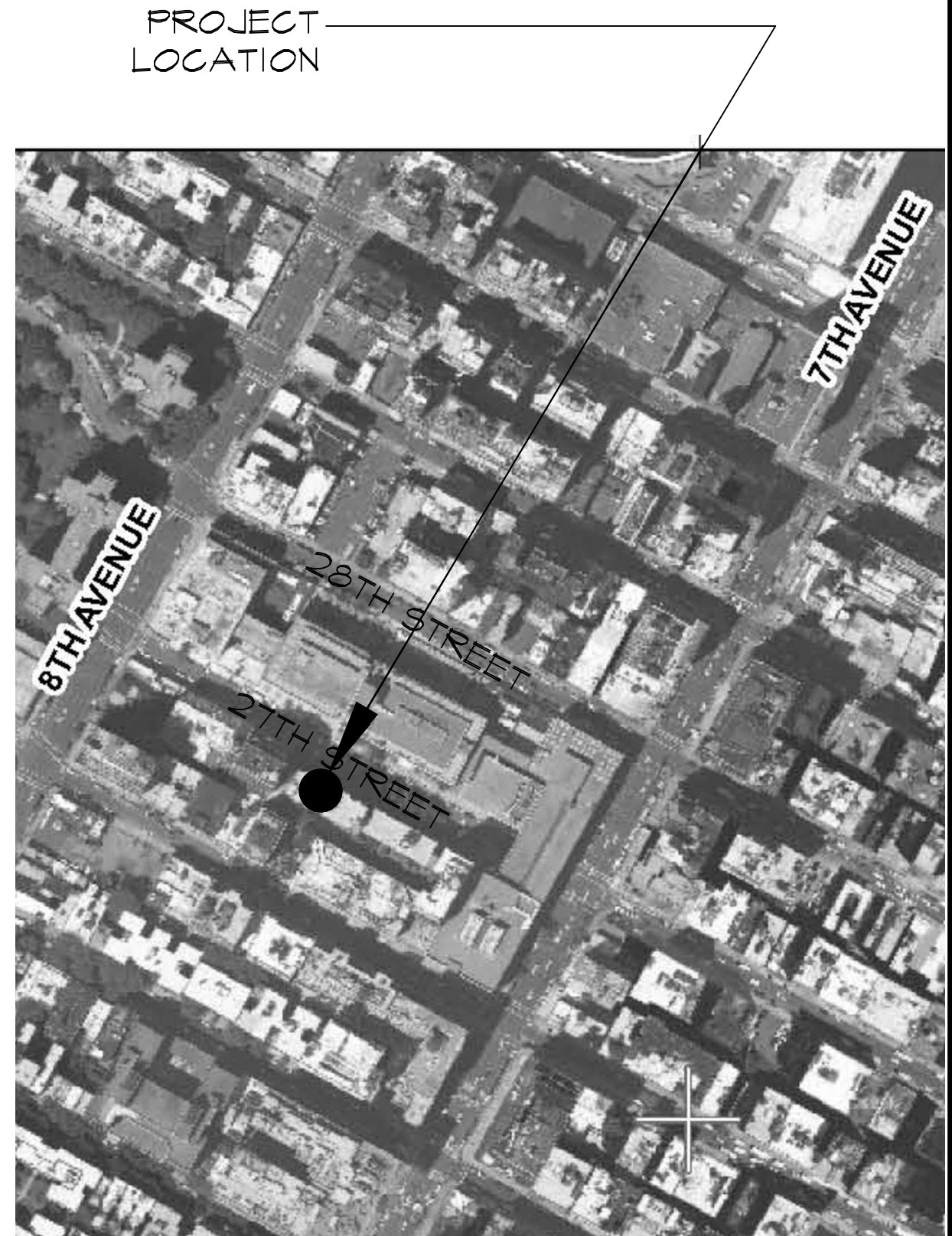
CONTAINS
 COMMUNITY NUMBER PANEL SUFFIX
 NEW YORK CITY OF 360497 0201 G

PRELIMINARY
 DECEMBER 5, 2013

Notice to User: The Map Number shown below should be used when placing map orders. The Community Number shown above should be used on insurance applications for the subject community.

MAP NUMBER
 3604970201G
 MAP REVISED

Federal Emergency Management Agency



1 FLOOD INSURANCE RATE MAP 2013 PRELIMINARY
 6-002 SCALE: AS NOTED

- NOTES:
1. SFHA INCLUDES ZONES A, AO, AH, AI-30, AE, AR, AR/AI-30, AR/AE, AR/AO, AR/AH, AR/A, VO, VI-30, VE, AND V.
 2. THE PROJECT IS LOCATED IN ZONE X AND IS NOT IN AN SFHA ZONE.

2 CLOSE UP OF 230 W 27TH STREET
 6-002 FLOOD INSURANCE RATE MAP 2013
 SCALE: AS NOTED

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 NEW YORK, NY 10001

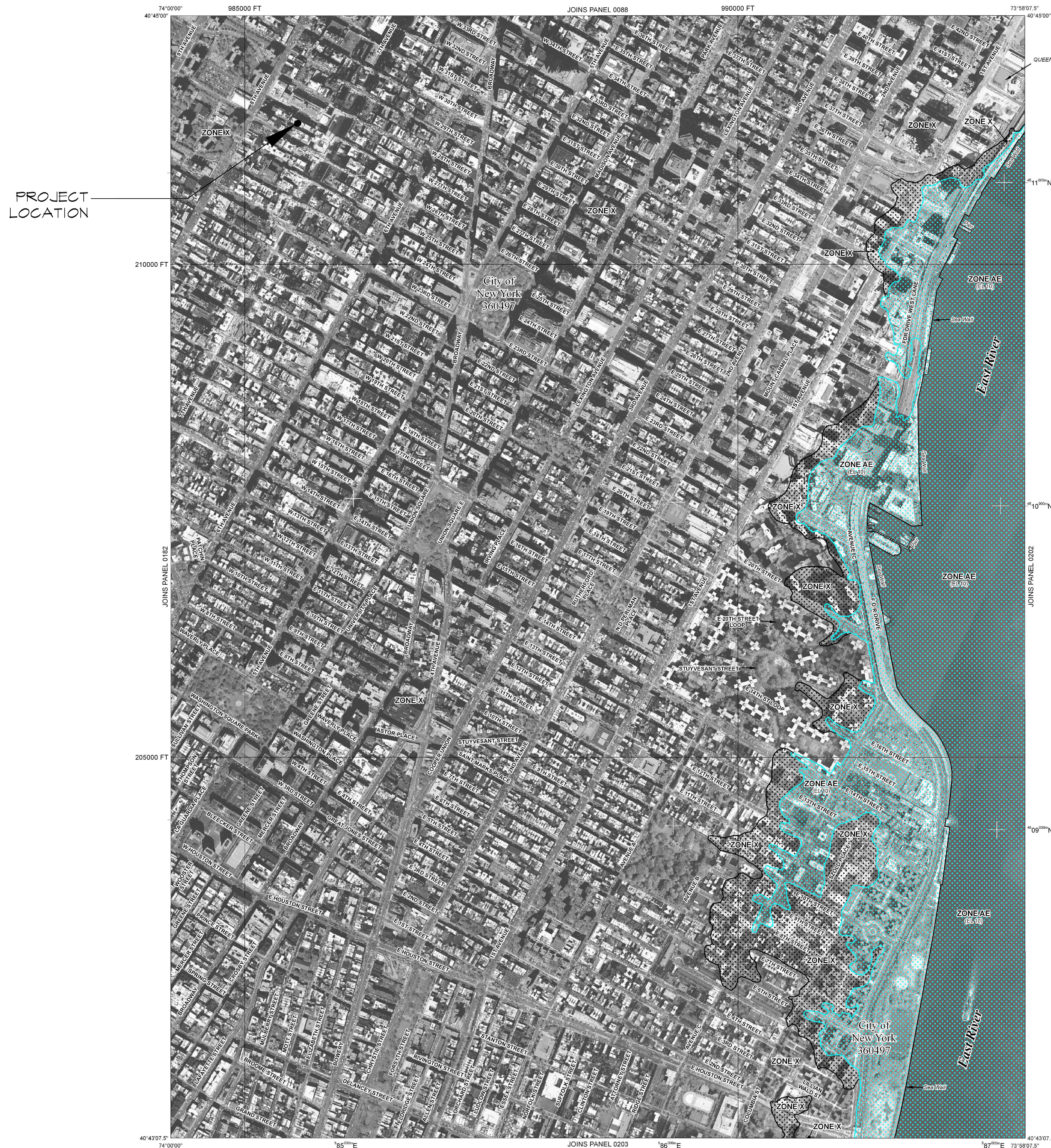
David Smotrich & Partners LLP
 Architects/Planners
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 New York, NY 10016
 212 889 4045 Fax 212 889 3672

PROJECT:
 CO-ED RESIDENCE HALL BATHROOM
 RENOVATIONS - 9TH-10TH FLOORS
 230 WEST 27TH ST
 NEW YORK NY 10001

DRAWING TITLE:
 FLOOD INSURANCE RATE MAP
 2013 PRELIMINARY

SEAL & SIGNATURE:

DATE: 03.15.2022
 PROJECT No: 13284.110
 DRAWING BY: AP&TM&LX
 CHK BY: GS
 DWG No:
G-002.00
 SCALE AS NOTED 3 of 16



LEGEND

SPECIAL FLOOD HAZARD AREAS SUBJECT TO INUNDATION BY THE 1% ANNUAL CHANCE FLOOD

The 1% annual flood (100-year flood), also known as the base flood, is the flood that has a 1% chance of being equaled or exceeded in any given year. The Special Flood Hazard Area is the area subject to flooding by the 1% annual chance flood. Areas of Special Flood Hazard include Zones A, AE, AH, AO, AR, A99, V, and VE. The Base Flood Elevation is the water-surface elevation of the 1% annual chance flood.

ZONE A No Base Flood Elevations determined.

ZONE AE Base Flood Elevations determined.

ZONE AH Flood depths of 1 to 3 feet (usually areas of ponding); Base Flood Elevations determined.

ZONE AO Flood depths of 1 to 3 feet (usually sheet flow on sloping terrain); average depths determined. For areas of alluvial fan flooding, velocities also determined.

ZONE AR Special Flood Hazard Area formerly protected from the 1% annual chance flood by a flood control system that was subsequently decertified. Zone AR indicates that the former flood control system is being restored to provide protection from the 1% annual chance or greater flood.

ZONE A99 Area to be protected from 1% annual chance flood by a Federal flood protection system under construction; no Base Flood Elevations determined.

ZONE V Coastal flood zone with velocity hazard (wave action); no Base Flood Elevations determined.

ZONE VE Coastal flood zone with velocity hazard (wave action); Base Flood Elevations determined.

FLOODWAY AREAS IN ZONE AE

The floodway is the channel of a stream plus any adjacent floodplain areas that must be kept free of encroachment so that the 1% annual chance flood can be carried without substantial increases in flood heights.

OTHER FLOOD AREAS

ZONE X Areas of 0.2% annual chance flood; areas of 1% annual chance flood with average depths of less than 1 foot or with drainage areas less than 1 square mile; and areas protected by levees from 1% annual chance flood.

OTHER AREAS

ZONE X Areas determined to be outside the 0.2% annual chance floodplain.

ZONE D Areas in which flood hazards are undetermined, but possible.

COASTAL BARRIER RESOURCES SYSTEM (CBRS) AREAS

OTHERWISE PROTECTED AREAS (OPAs)

CBRS areas and OPAs are normally located within or adjacent to Special Flood Hazard Areas.

1% annual chance floodplain boundary
 0.2% annual chance floodplain boundary
 Floodway boundary
 Zone D boundary
 CBRS and OPA boundary
 Boundary dividing Special Flood Hazard Area Zones and boundary dividing Special Flood Hazard Areas of different base Flood Elevations, flood depths or flood velocities.
 Base Flood Elevation line and value; elevation in feet*
 Base Flood Elevation value where uniform within zone; elevation in feet*
 * Referenced to the National Geodetic Vertical Datum of 1929

○ Cross section line
 ○ Transact line
 67°07'45", 32°22'30"
 176°00'N
 600000 FT
 DX5510 x
 ● M1.5

MAP REPOSITORY
 Refer to listing of Map Repositories on Map Index.

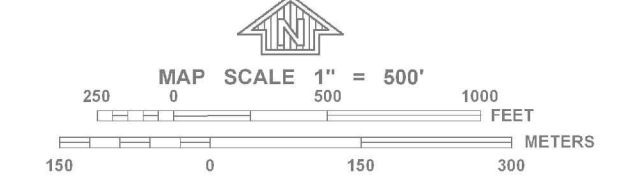
INITIAL NFP MAP DATE
 June 28, 1974

FLOOD HAZARD BOUNDARY MAP REVISIONS
 June 11, 1978

FLOOD INSURANCE RATE MAP EFFECTIVE
 November 16, 1983

FLOOD INSURANCE RATE MAP REVISIONS
 September 5, 2007 - to change Special Flood Hazard Areas, to reflect updated topographic information, and to update map format

To determine if flood insurance is available in this community, contact your Insurance agent or call the National Flood Insurance Program at 1-800-638-6625.



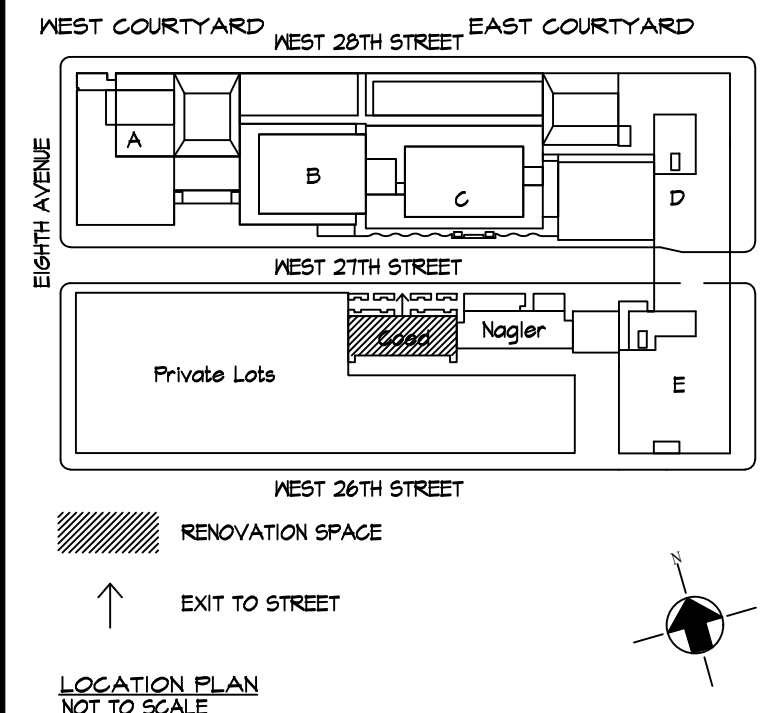
NATIONAL FLOOD INSURANCE PROGRAM

FIRM
 FLOOD INSURANCE RATE MAP
 CITY OF
 NEW YORK
 BROOKS, RICHMOND, NEW YORK,
 QUEENS, AND KINGS COUNTIES

PANEL 201 OF 457

(SEE MAP INDEX FOR FIRM PANEL LAYOUT)

DATE: 09/05/2007
 NUMBER: 36457201F
 MAP REVISION: SEPTEMBER 5, 2007
 FEDERAL EMERGENCY MANAGEMENT AGENCY



PROJECT LOCATION

PROJECT LOCATION

1 FLOOD INSURANCE RATE MAP 2007
 SCALE: AS NOTED

- NOTES:
- SFHA INCLUDES ZONES A, AO, AH, AI-30, AE, A99, AR, AR/AI-30, AR/AE, AR/AO, AR/AH, AR/A, VO, VI-30, VE, AND V.
 - THE PROJECT IS LOCATED IN ZONE X AND IS NOT IN AN SFHA ZONE.

2 CLOSE UP OF 230 W 27TH STREET
 FLOOD INSURANCE RATE MAP 2007
 SCALE: AS NOTED

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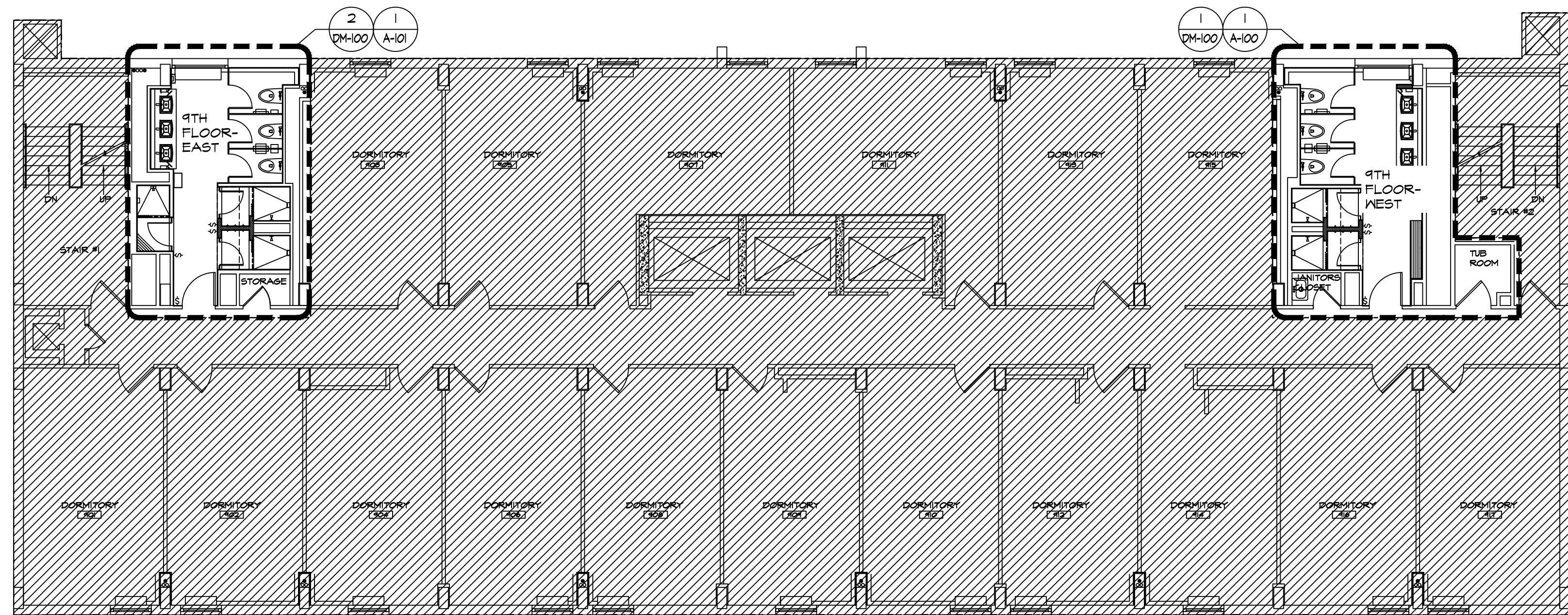
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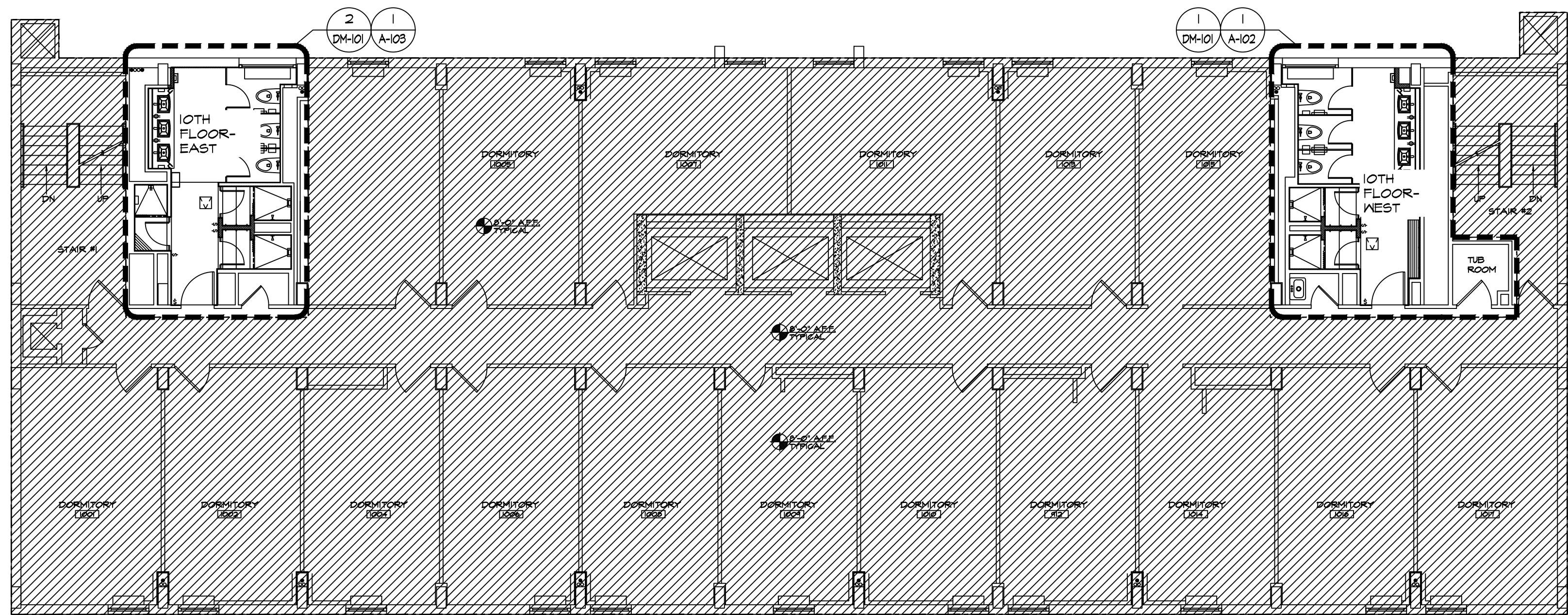
PROJECT:
 CO-ED RESIDENCE HALL BATHROOM
 RENOVATIONS - 9TH-10TH FLOORS
 230 WEST 27TH ST
 NEW YORK NY 10001

DRAWING TITLE:
 FLOOD INSURANCE RATE MAP
 2007

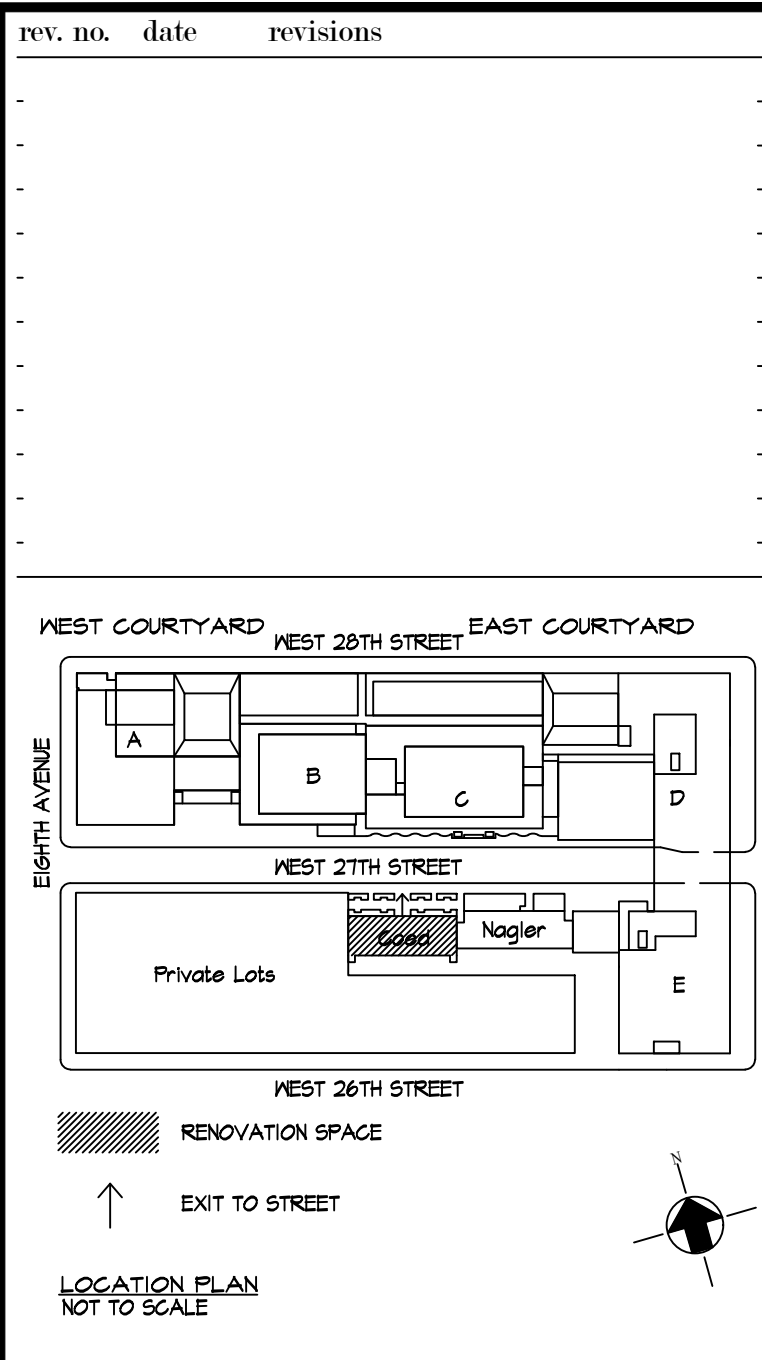
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 PROJECT No: 13284.110
 DRAWING BY: AP&TM&LX
 CHK BY: GS
 DWG No:
G-003.00
 SCALE: AS NOTED 4 of 16



1 9TH FLOOR KEY PLAN
 6-004 SCALE: 1/8" = 1'-0"



2 10TH FLOOR KEY PLAN
 6-004 SCALE: 1/8" = 1'-0"



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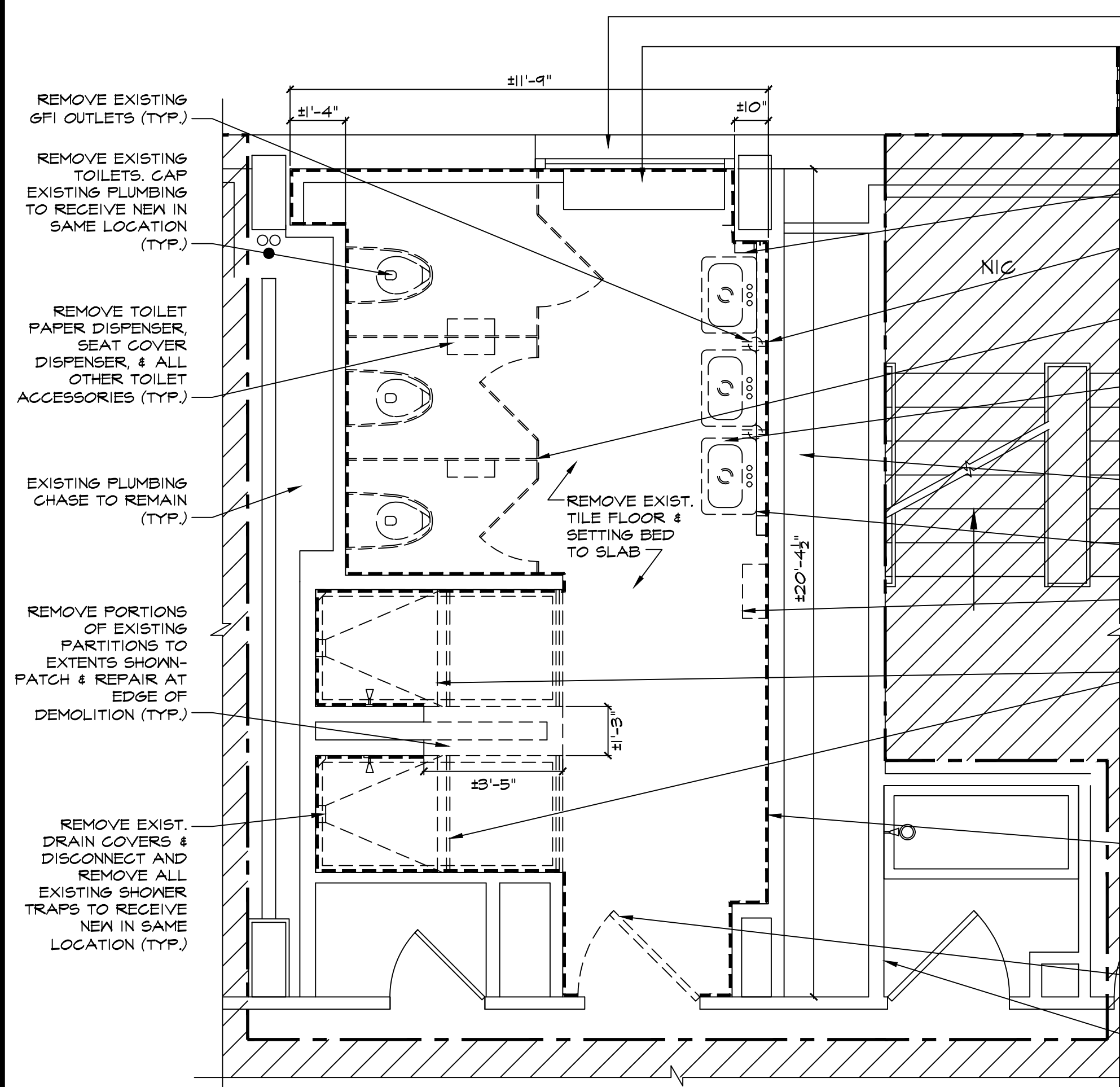
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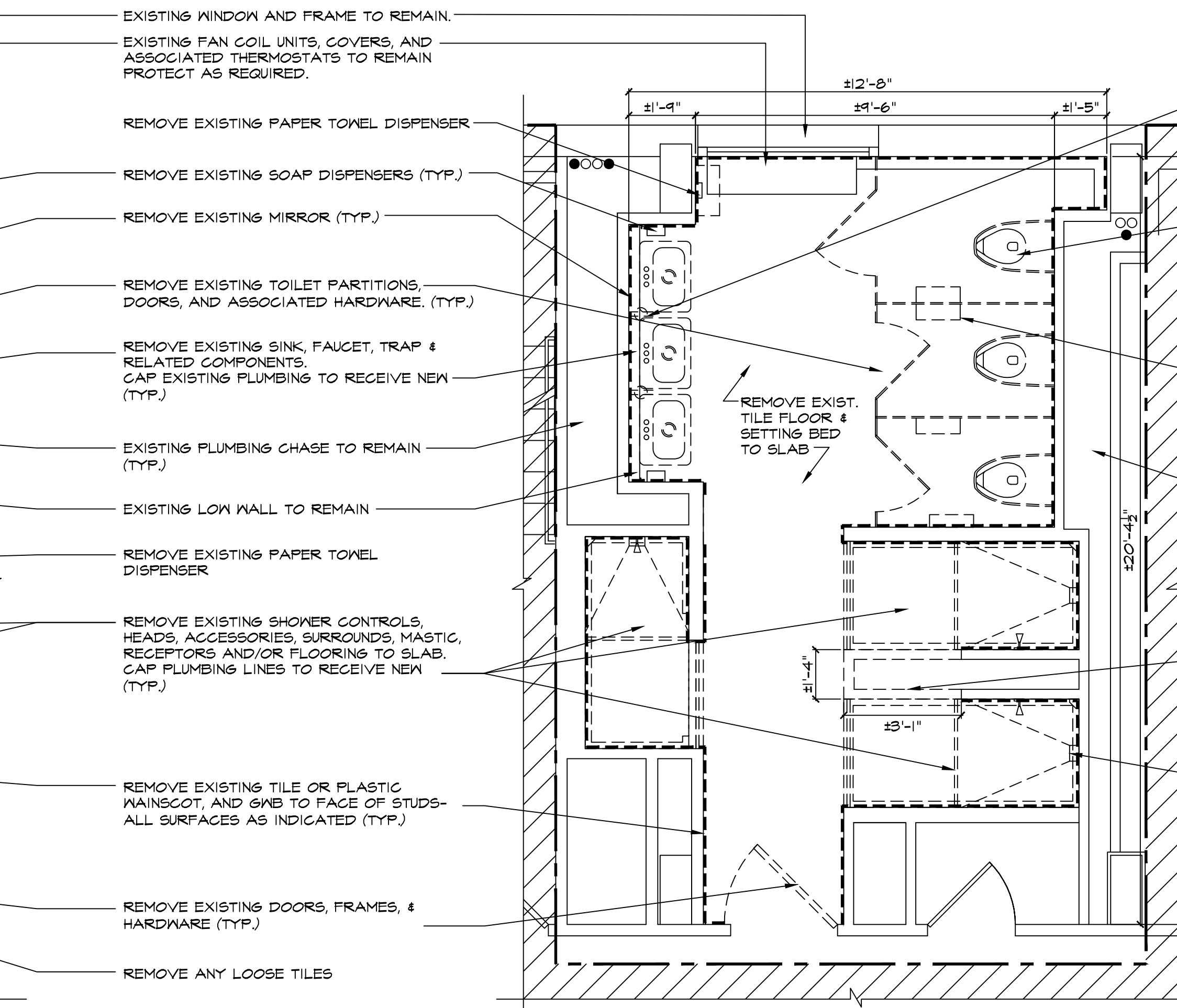
PROJECT:
 CO-ED RESIDENCE HALL BATHROOM
 RENOVATIONS - 9TH-10TH FLOORS
 230 WEST 27TH ST
 NEW YORK NY 10001

DRAWING TITLE:
 KEY PLANS
 9TH, & 10TH FLOORS

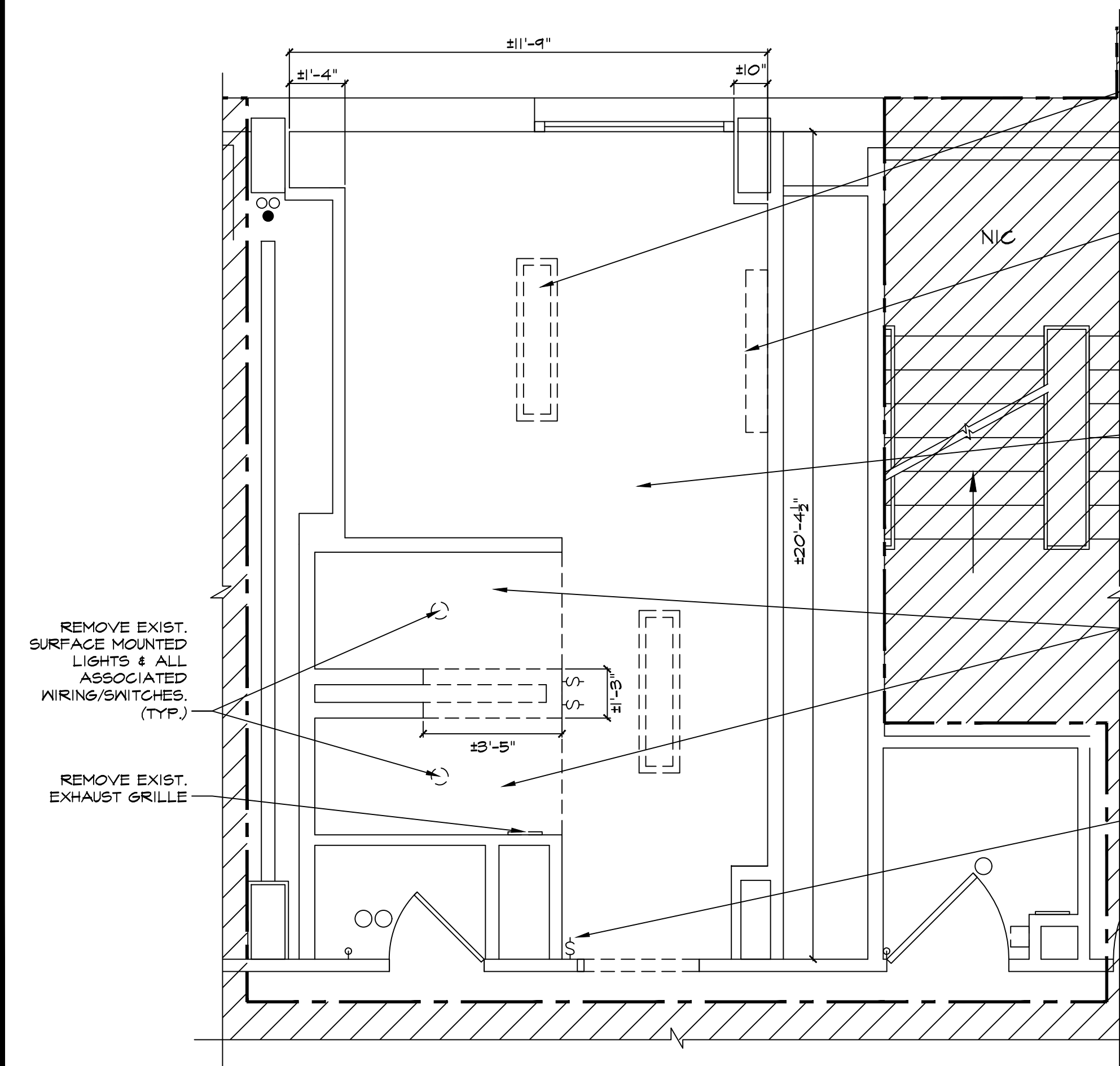
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	CHK BY: CS
	DWG No:
	G-004.00
	SCALE AS NOTED 5 of 16



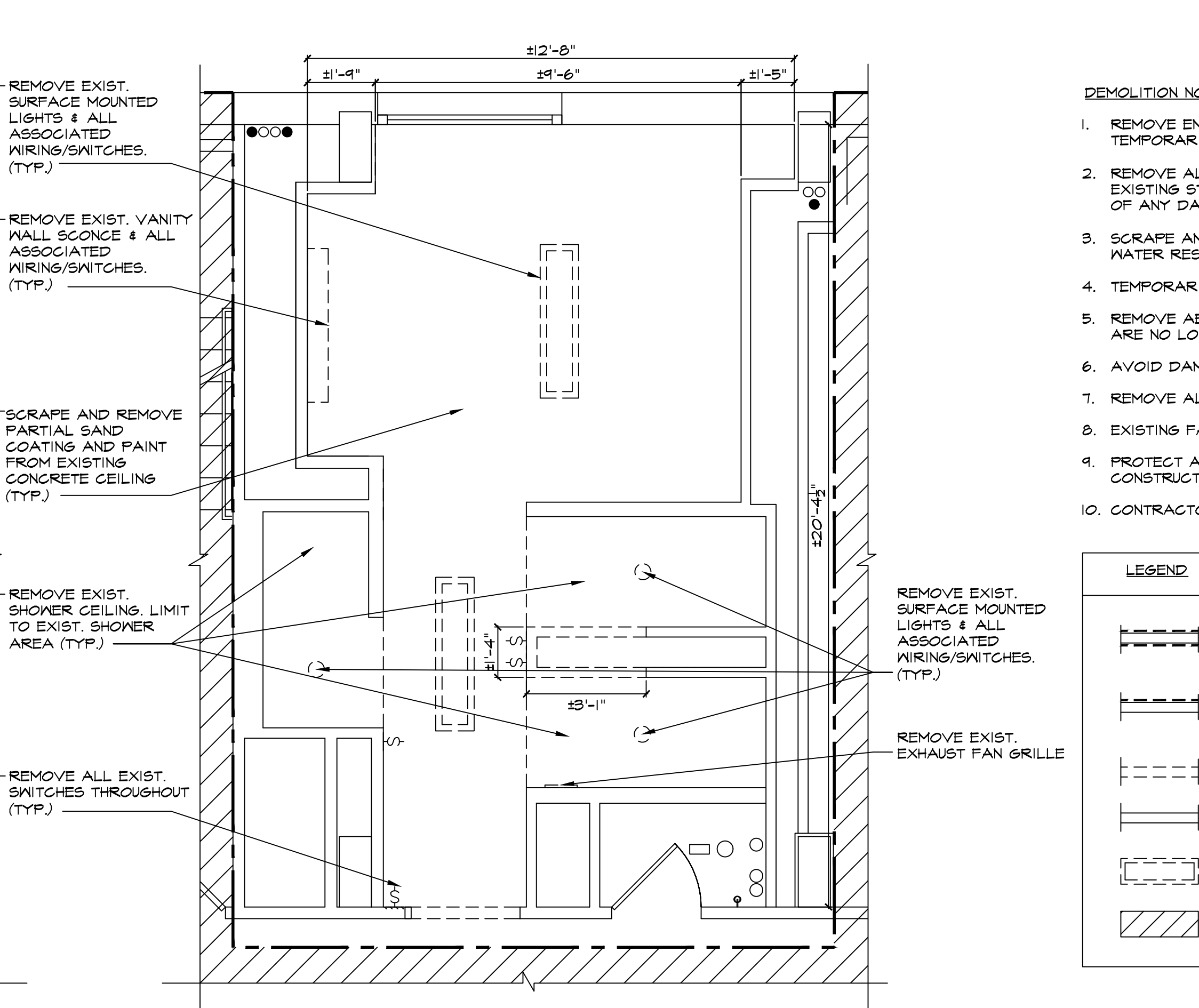
1 9TH FLOOR WEST BATHROOM DEMOLITION PLAN
SCALE: 3/8" = 1'-0"



2 9TH FLOOR EAST BATHROOM DEMOLITION PLAN
SCALE: 3/8" = 1'-0"



3 9TH FLOOR WEST BATHROOM DEMOLITION RCP
SCALE: 3/8" = 1'-0"

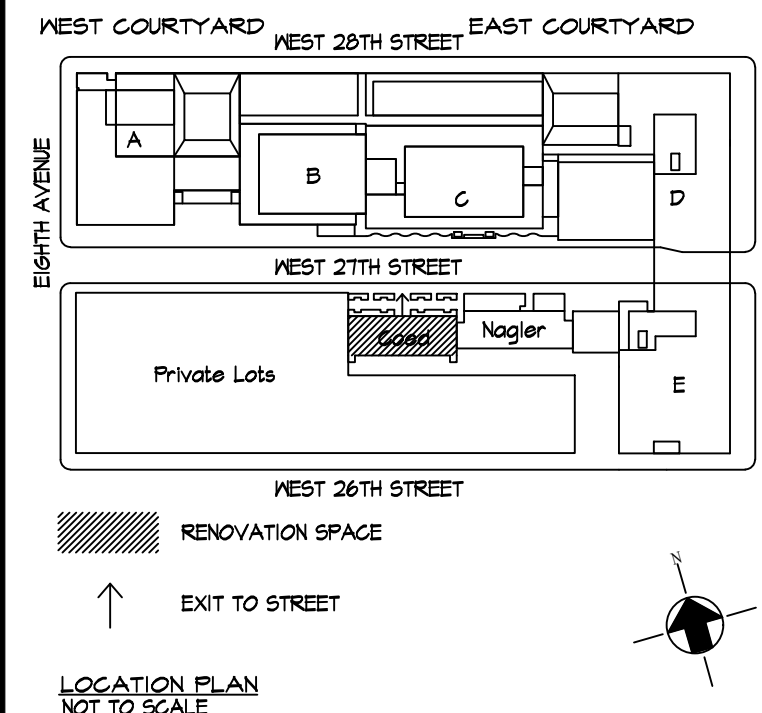


4 9TH FLOOR EAST BATHROOM DEMOLITION RCP
SCALE: 3/8" = 1'-0"

DEMOLITION NOTES

1. REMOVE ENTIRE EXISTING TILE FLOOR SETTING BED, SHOWER PANS, ETC. TO ORIGINAL SLAB. PROTECT & TEMPORARILY CAP EXISTING DRAIN AREAS AS REQUIRED.
2. REMOVE ALL EXISTING WALL TILE, SHOWER SURROUNDS (AND CLGS.), FASTENERS AND SUBSTRATE TO FACE OF EXISTING STUDS AS INDICATED ON DOCUMENTS. CONTRACTOR TO ASSUME RESPONSIBILITY FOR REPLACEMENT OF ANY DAMAGED STUDS AS A RESULT OF DEMOLITION, AT NO EXTRA COST TO OWNER.
3. SCRAPE AND SAND EXISTING CONCRETE CEILING (PAINTED "COURSE SAND FINISH") TO BE LAMINATED W/ NEW WATER RESISTANT GMB.
4. TEMPORARILY CAP EXPOSED PIPING/ WIRING UNTIL READY TO INSTALL NEW APPLIANCES/FIXTURES.
5. REMOVE ABANDONED CONDUITS ONLY AFTER TESTING FOR "LIVE" WIRING AND VERIFYING WITH OWNER THEY ARE NO LONGER IN USE.
6. AVOID DAMAGING EXISTING ELECTRIC CONDUITS TO REMAIN.
7. REMOVE ALL DEBRIS FROM INTERIOR OF CHASE TO BROOM CLEAN.
8. EXISTING FANCOIL UNIT & COVER TO REMAIN. PROTECT AS REQUIRED.
9. PROTECT AND COVER ALL RETURN AIR DUCTS AND VENTS THROUGHOUT THE DURATION OF DEMOLITION AND CONSTRUCTION.
10. CONTRACTOR TO ASSUME 10% OF ALL EXISTING STUDS WHICH ARE TO REMAIN REQUIRE REPLACEMENT.

LEGEND	
	EXIST. STUDS TO REMAIN, REMOVE ALL FINISHES AND EXIST. GMB EA. SIDE
	EXIST. STUDS TO REMAIN, REMOVE FINISHES AND GMB ONE SIDE.
	WALL TO BE REMOVED
	WALL TO REMAIN
	SURFACE MOUNTED LIGHT FIXTURE TO BE REMOVED
	AREA NOT IN CONTRACT



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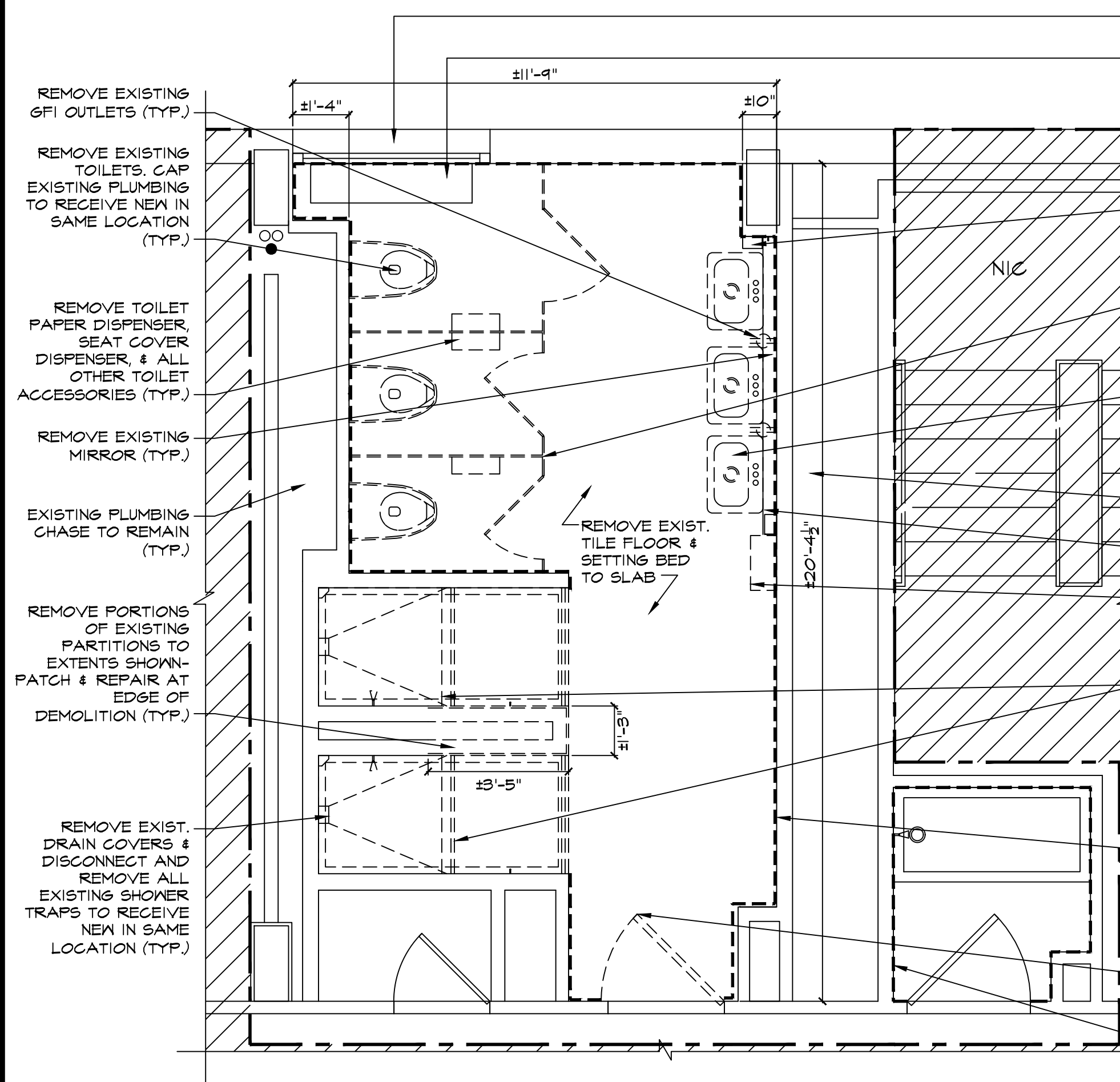
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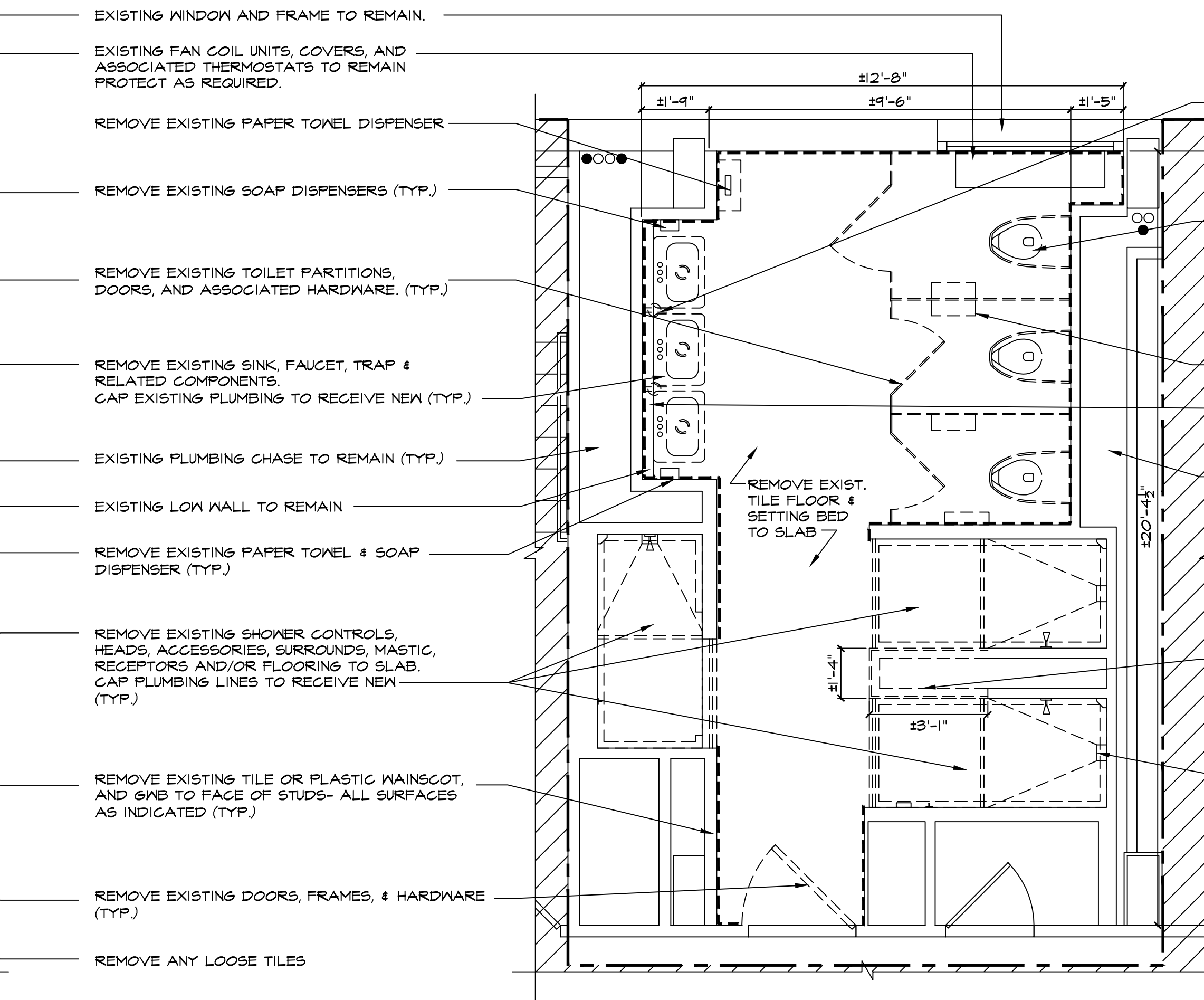
PROJECT:
CO-ED RESIDENCE HALL BATHROOM
RENOVATIONS - 9TH-10TH FLOORS
230 WEST 27TH ST
NEW YORK NY 10001

DRAWING TITLE:
DEMO PLANS & DEMO RCP-
9TH FLOOR

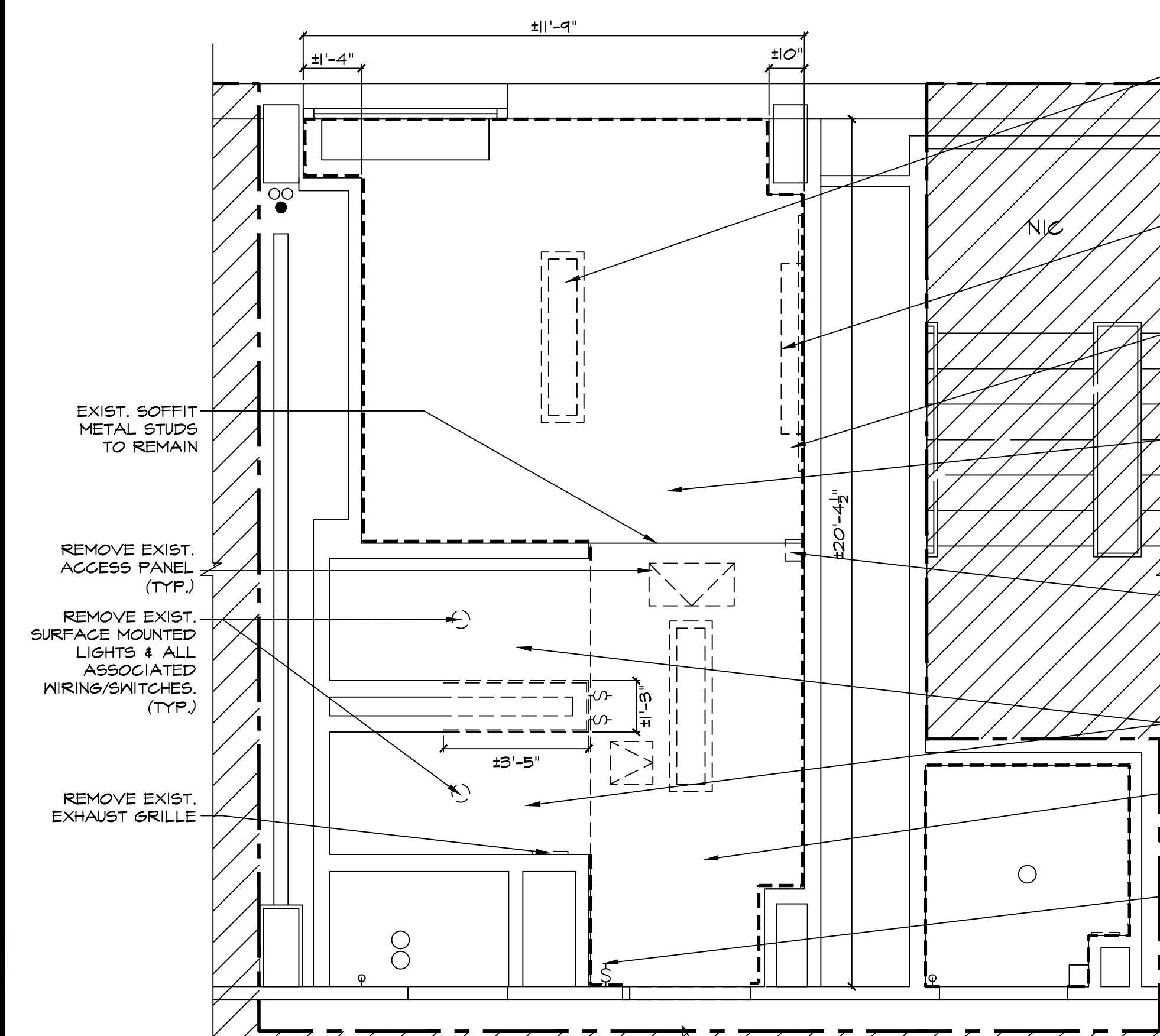
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DATE: 09.15.2022
PROJECT No: 13284.110
DRAWING BY: AP&TM&LX
CHK BY: GS
DWG No:
DM-100.00
SCALE AS NOTED 6 of 16



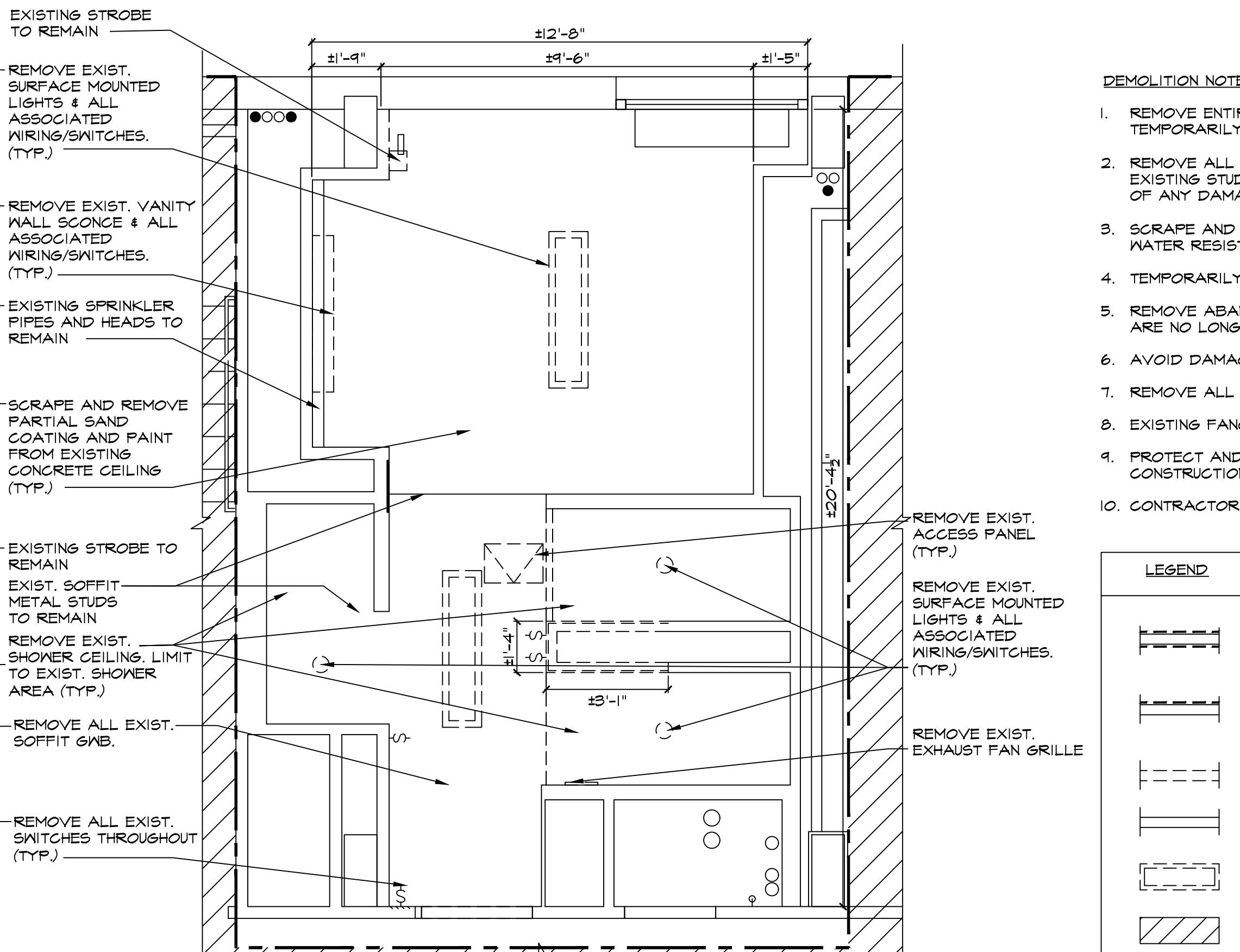
1 10TH FLOOR WEST BATHROOM DEMOLITION PLAN
SCALE: 3/8" = 1'-0"



2 10TH FLOOR EAST BATHROOM DEMOLITION PLAN
SCALE: 3/8" = 1'-0"



3 10TH FLOOR WEST BATHROOM DEMOLITION RCP
SCALE: 3/8" = 1'-0"



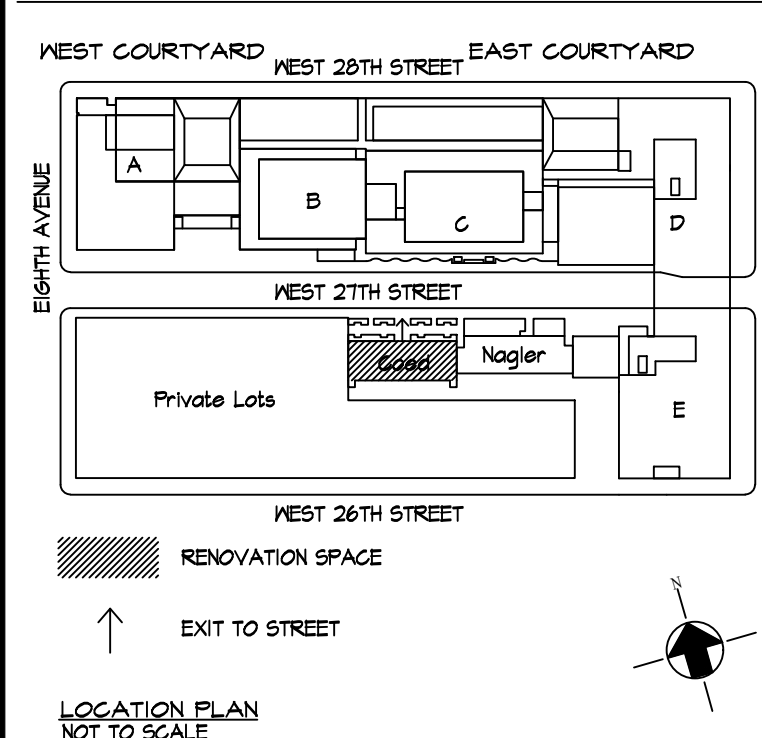
4 10TH FLOOR EAST BATHROOM DEMOLITION RCP
SCALE: 3/8" = 1'-0"

DEMOLITION NOTES

1. REMOVE ENTIRE EXISTING TILE FLOOR SETTING BED, SHOWER PANS, ETC. TO ORIGINAL SLAB. PROTECT & TEMPORARILY CAP EXISTING DRAIN AREAS AS REQUIRED.
2. REMOVE ALL EXISTING WALL TILE, SHOWER SURROUNDS (AND CLGS.), FASTENERS AND SUBSTRATE TO FACE OF EXISTING STUDS AS INDICATED ON DOCUMENTS. CONTRACTOR TO ASSUME RESPONSIBILITY FOR REPLACEMENT OF ANY DAMAGED STUDS AS A RESULT OF DEMOLITION, AT NO EXTRA COST TO OWNER.
3. SCRAPE AND SAND EXISTING CONCRETE CEILING (PAINTED "COURSE SAND FINISH") TO BE LAMINATED W/ NEW WATER RESISTANT GNB.
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7. REMOVE ALL DEBRIS FROM INTERIOR OF CHASE TO BROOM CLEAN.
8. EXISTING FANCOIL UNIT & COVER TO REMAIN. PROTECT AS REQUIRED.
9. PROTECT AND COVER ALL RETURN AIR DUCTS AND VENTS THROUGHOUT THE DURATION OF DEMOLITION AND CONSTRUCTION.
10. CONTRACTOR TO ASSUME 10% OF ALL EXISTING STUDS WHICH ARE TO REMAIN REQUIRE REPLACEMENT.

LEGEND

	EXIST. STUDS TO REMAIN. REMOVE ALL FINISHES AND EXIST. GNB EA. SIDE
	EXIST. STUDS TO REMAIN. REMOVE FINISHES AND GNB ONE SIDE.
	WALL TO BE REMOVED
	WALL TO REMAIN
	SURFACE MOUNTED LIGHT FIXTURE TO BE REMOVED
	AREA NOT IN CONTRACT



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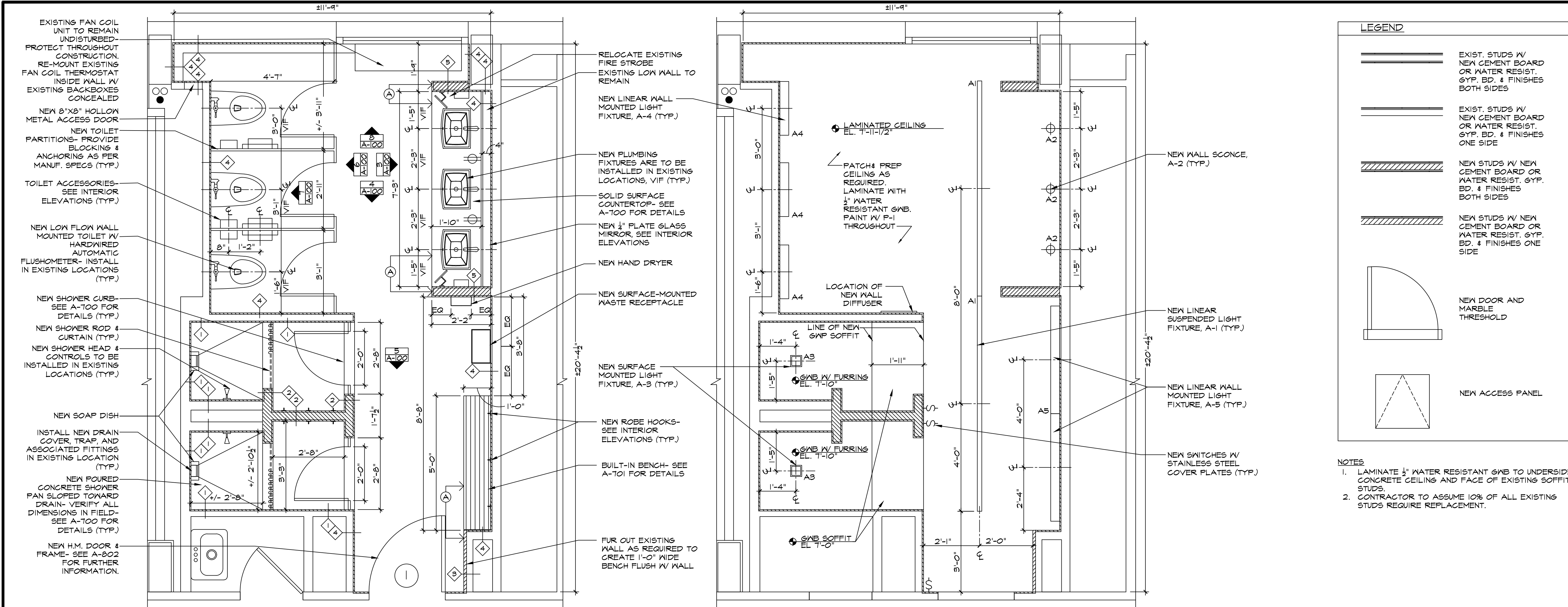
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New York, NY 10016
212 889 4045 Fax 212 889 3672

PROJECT:
CO-ED RESIDENCE HALL BATHROOM
RENOVATIONS - 9TH-10TH FLOORS
230 WEST 27TH ST
NEW YORK NY 10001

DRAWING TITLE:
DEMO PLANS & DEMO RCP-
10TH FLOOR

SEAL & SIGNATURE: _____ DATE: 03.15.2022
PROJECT No: 13284.110
DRAWING BY: AP&TM&LX
CHK BY: GS
DWG No: _____
DM-101.00
SCALE AS NOTED 7 of 16

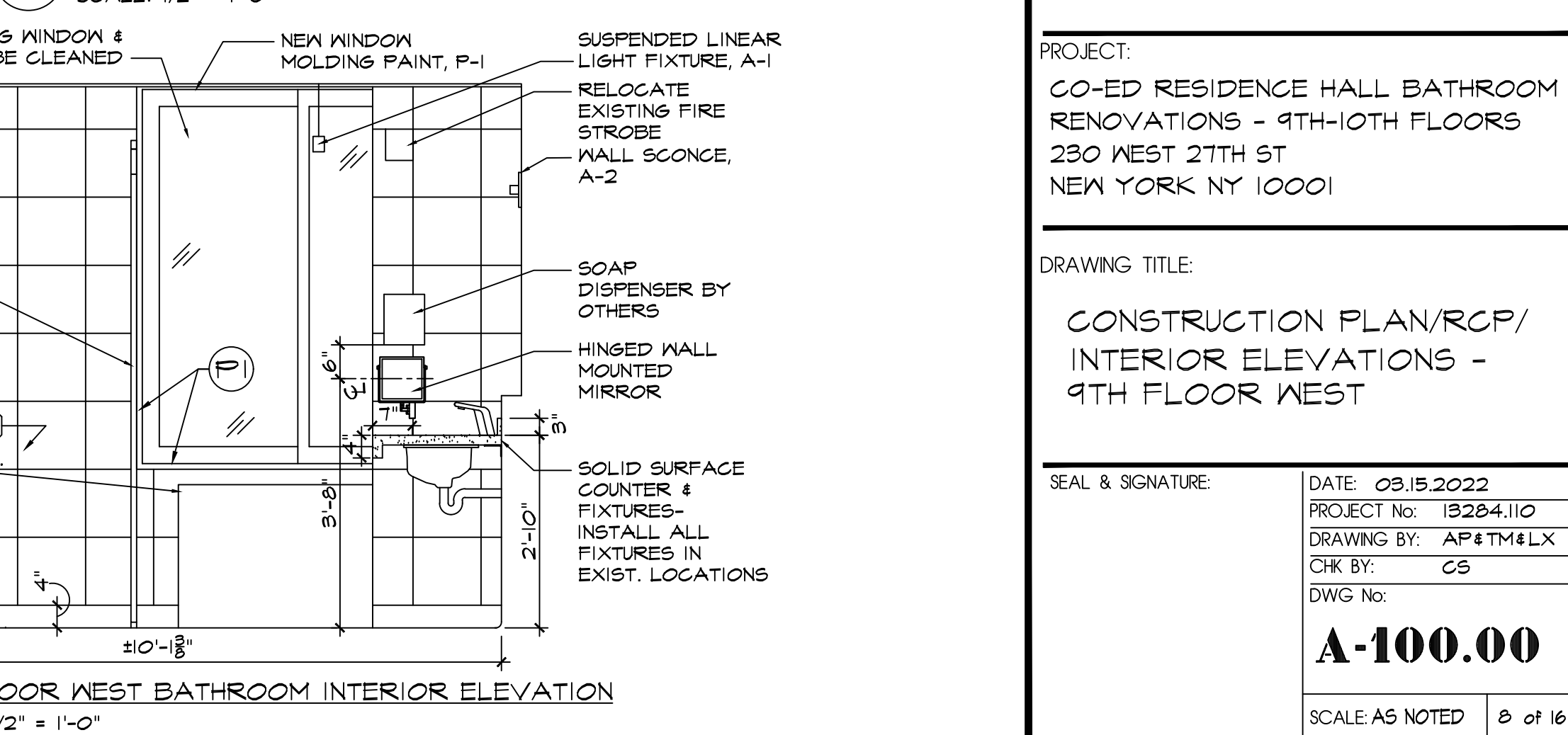
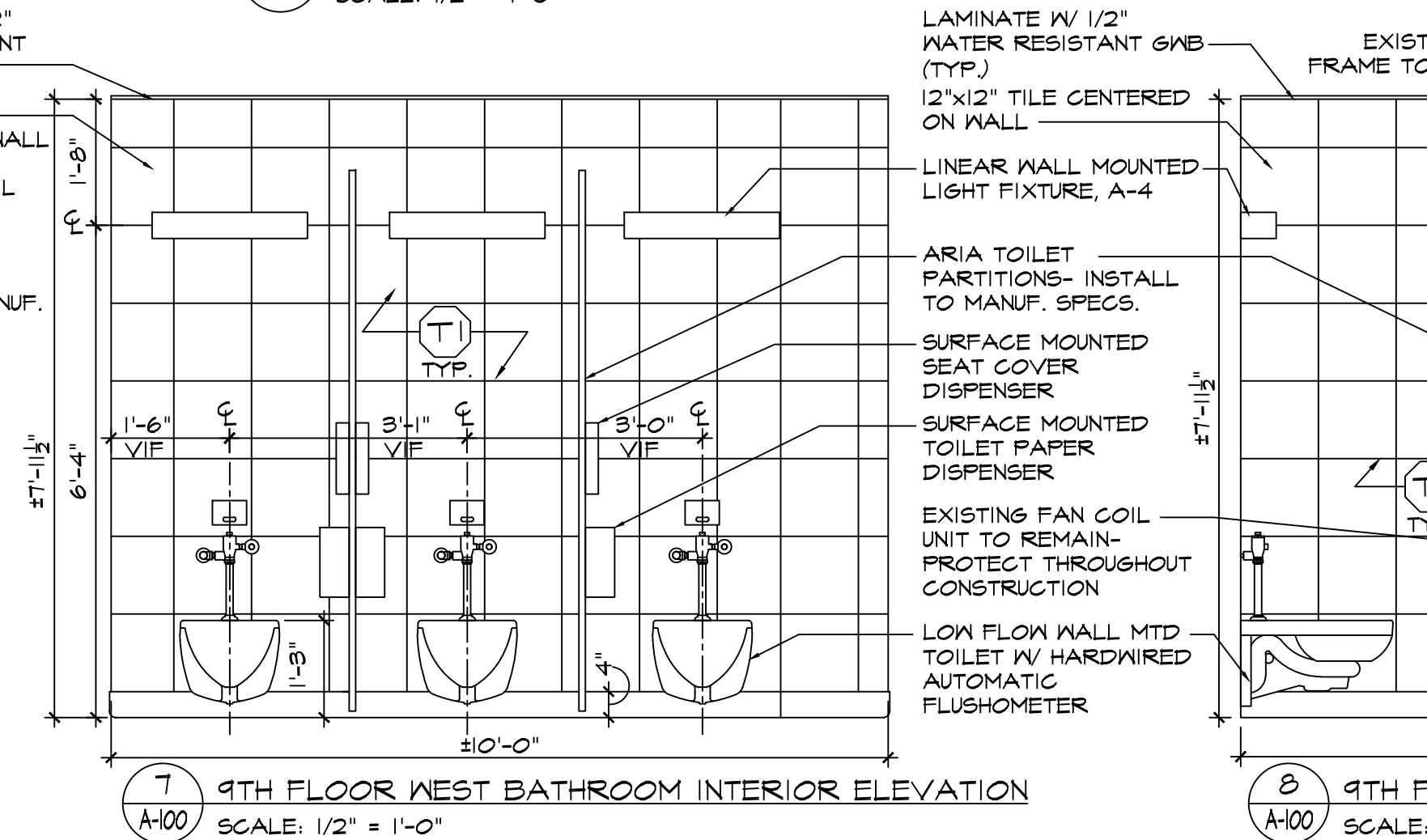
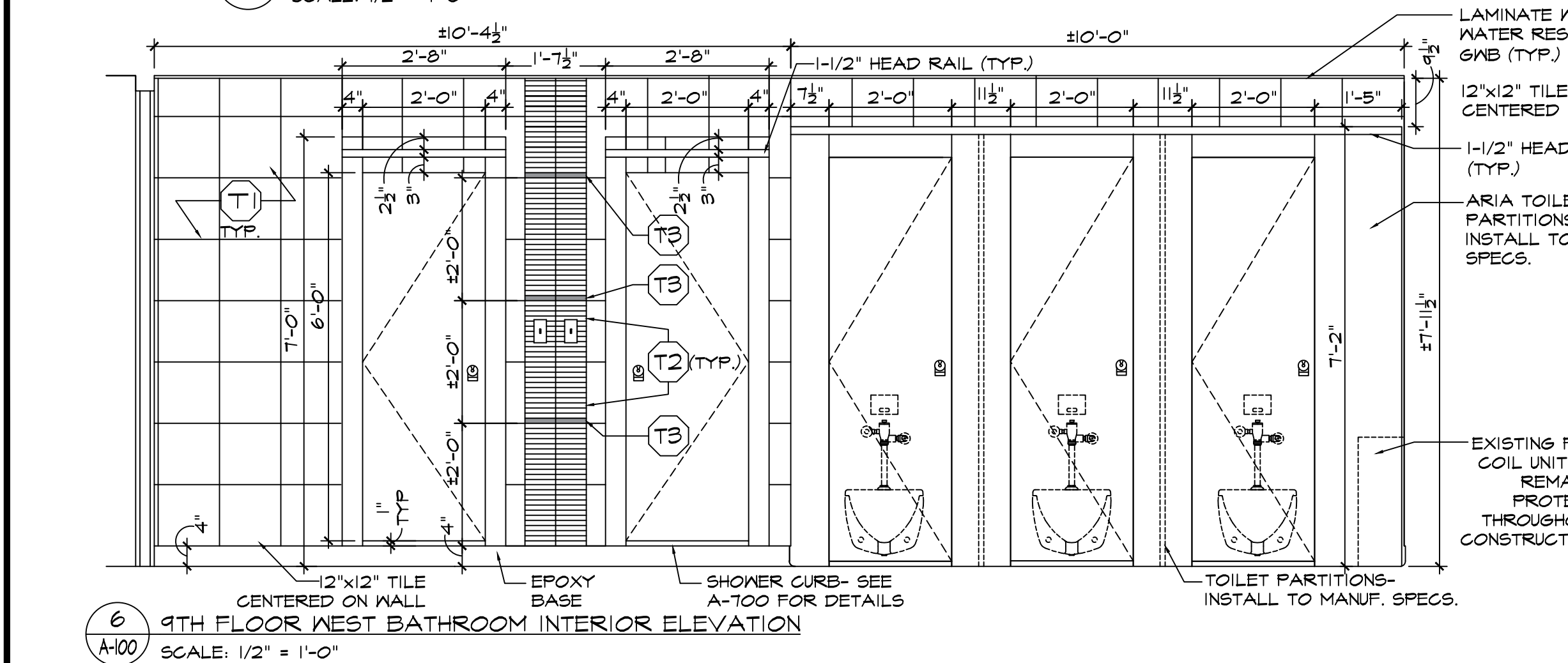
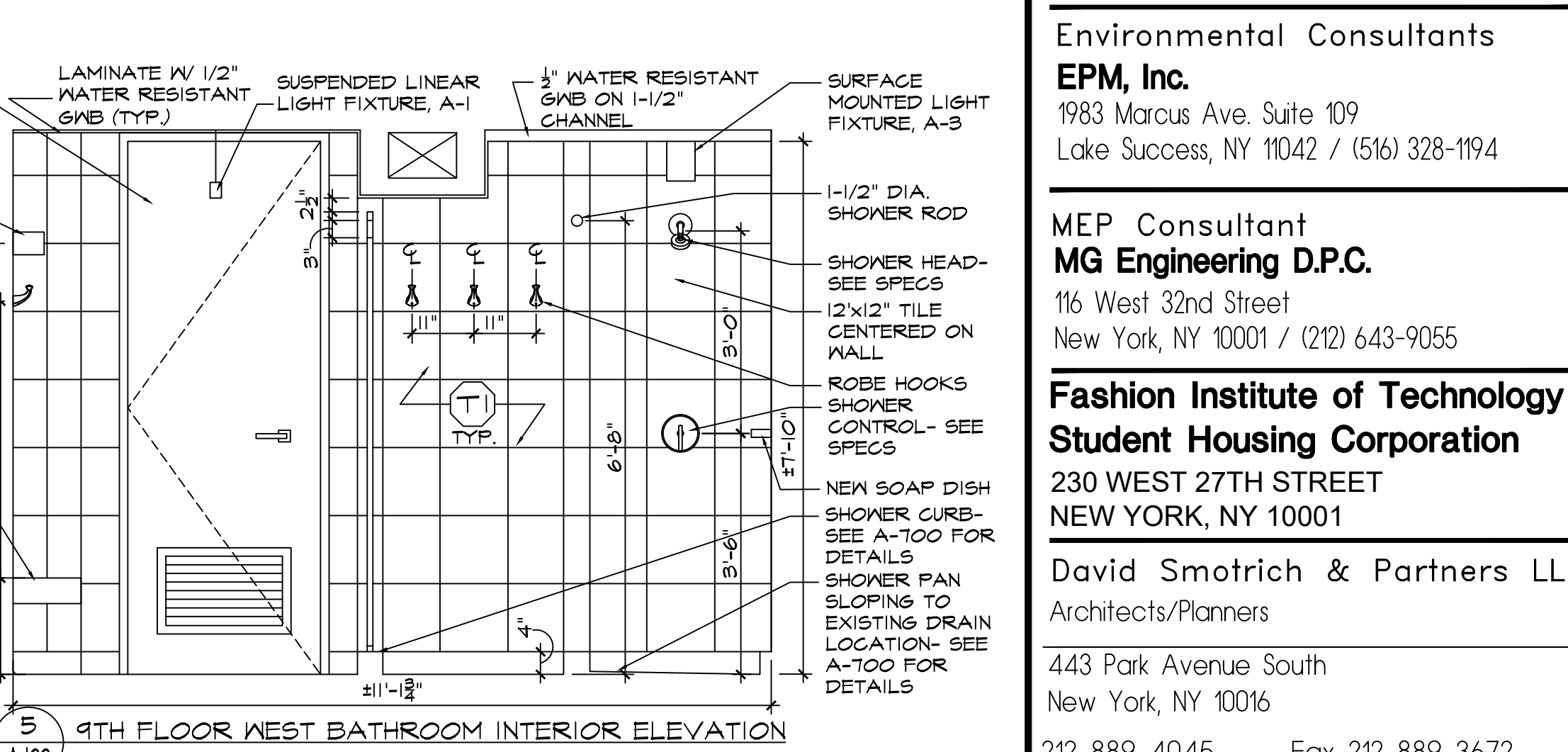
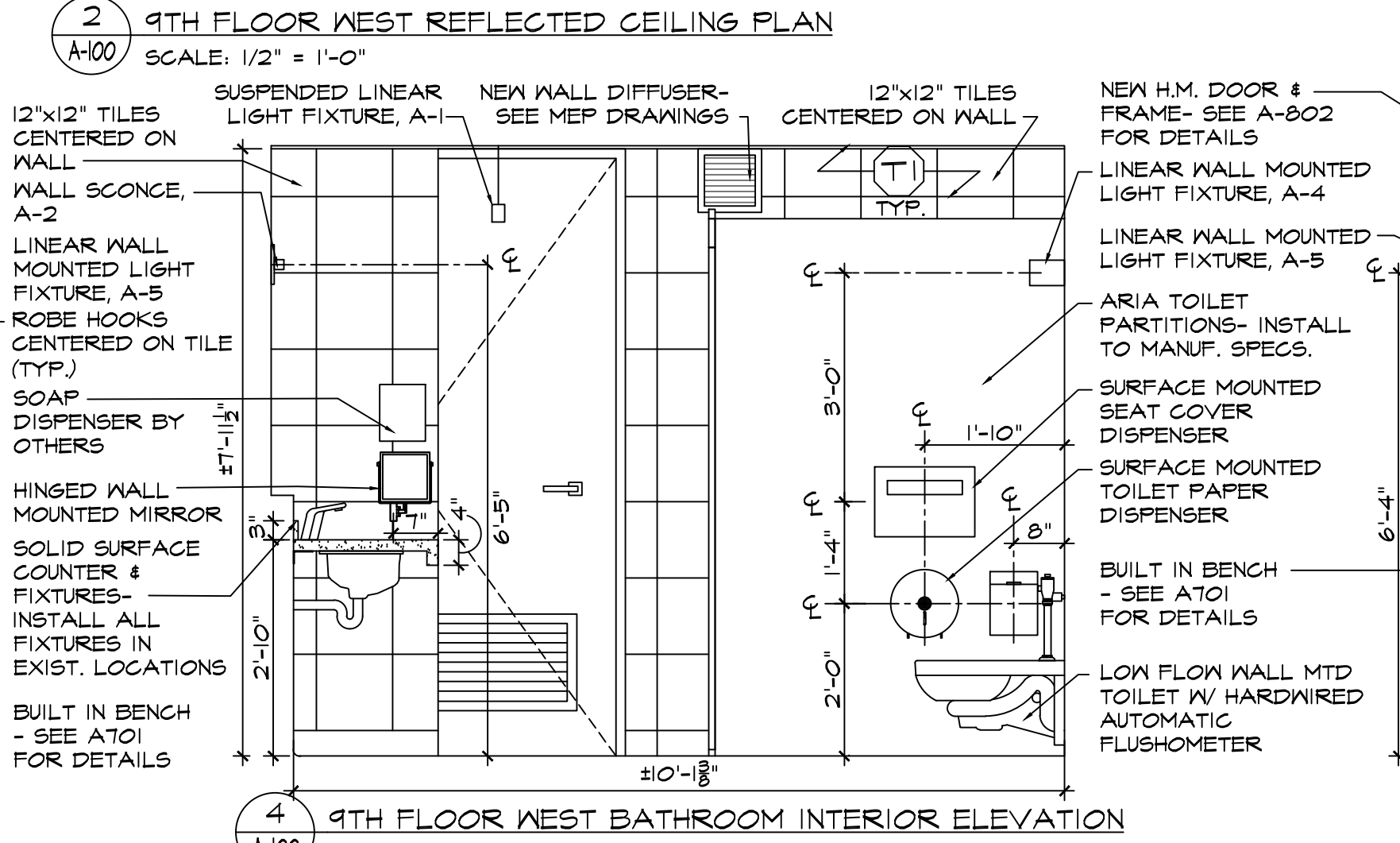
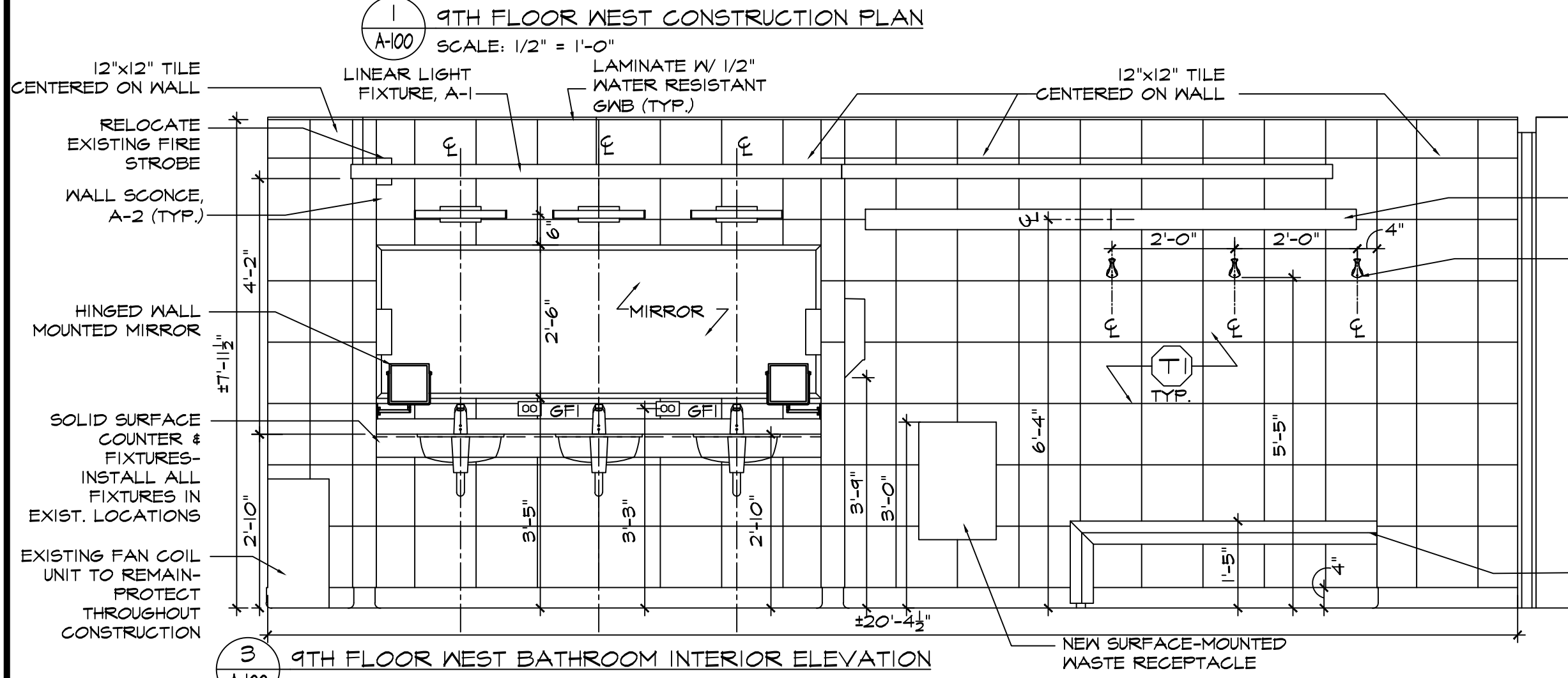
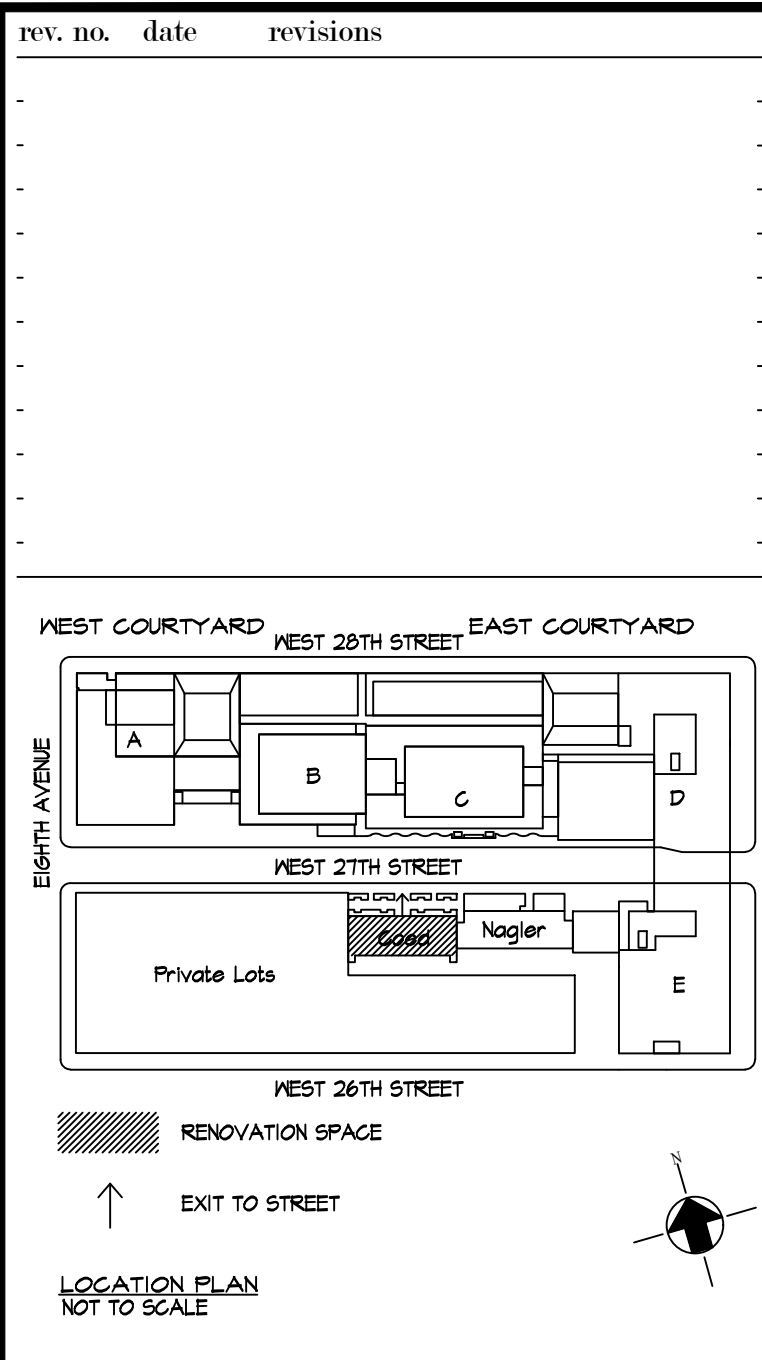


LEGEND

- EXIST. STUDS W/ NEW CEMENT BOARD OR WATER RESIST. GYP. BD. & FINISHES BOTH SIDES
- EXIST. STUDS W/ NEW CEMENT BOARD OR WATER RESIST. GYP. BD. & FINISHES ONE SIDE
- NEW STUDS W/ NEW CEMENT BOARD OR WATER RESIST. GYP. BD. & FINISHES BOTH SIDES
- NEW STUDS W/ NEW CEMENT BOARD OR WATER RESIST. GYP. BD. & FINISHES ONE SIDE
- NEW DOOR AND MARBLE THRESHOLD
- NEW ACCESS PANEL

NOTES

- LAMINATE 1/2" WATER RESISTANT GNB TO UNDERSIDE CONCRETE CEILING AND FACE OF EXISTING SOFFIT STUDS.
- CONTRACTOR TO ASSUME 10% OF ALL EXISTING STUDS REQUIRE REPLACEMENT.



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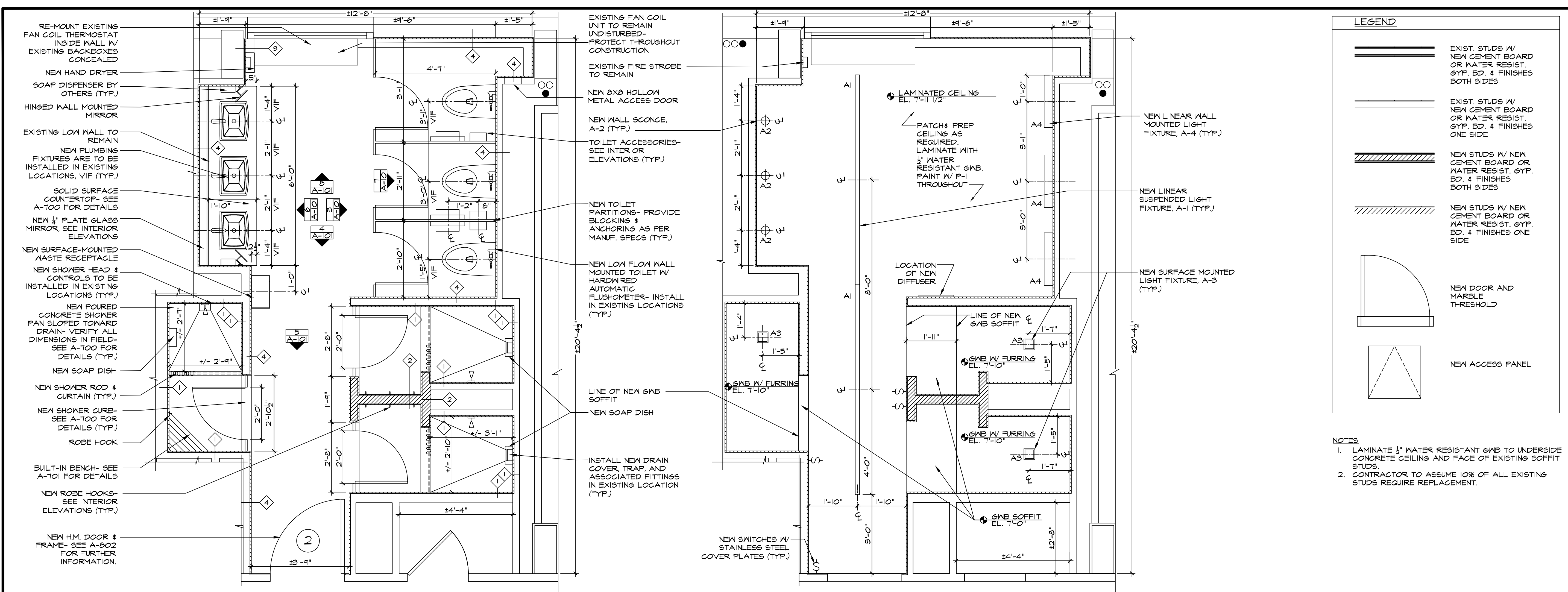
David Smotrich & Partners LLP
Architects/Planners
443 Park Avenue South
New York, NY 10016
212 889 4045 Fax 212 889 3672

PROJECT:
CO-ED RESIDENCE HALL BATHROOM RENOVATIONS - 9TH-10TH FLOORS
230 WEST 27TH ST
NEW YORK NY 10001

DRAWING TITLE:
**CONSTRUCTION PLAN/RCP/
INTERIOR ELEVATIONS -
9TH FLOOR WEST**

SEAL & SIGNATURE:

DATE: 09.15.2022
PROJECT No: 13284.110
DRAWING BY: AP&TM&LX
CHK BY: GS
DWG No:
A-100.00
SCALE AS NOTED 8 of 16

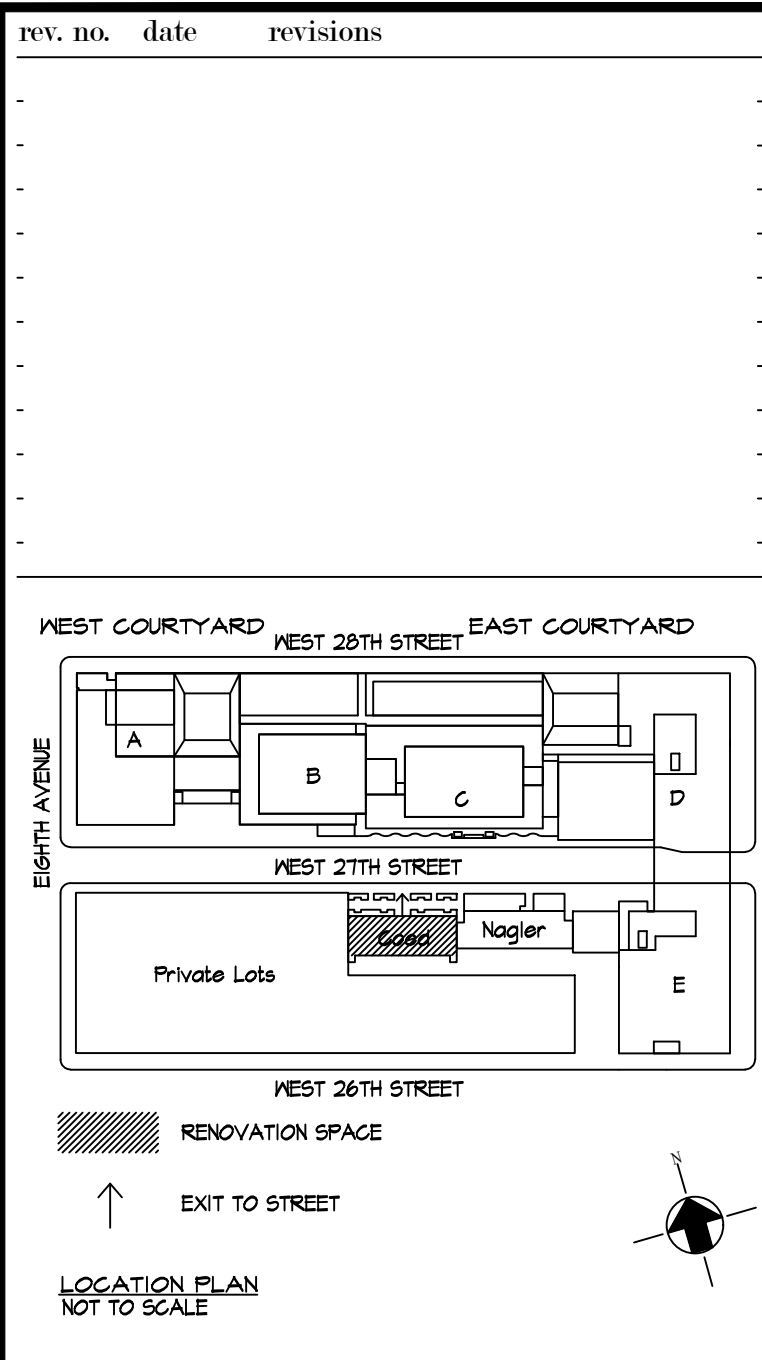


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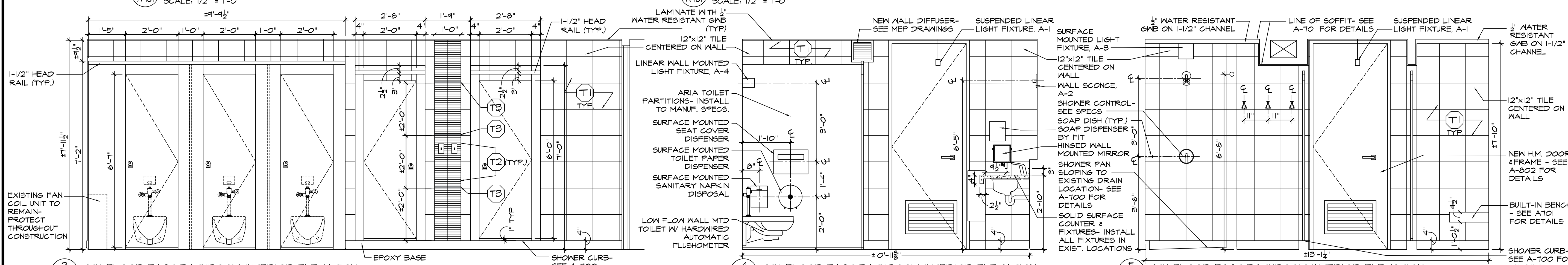
NOTES

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1 9TH FLOOR EAST CONSTRUCTION PLAN
SCALE: 1/2" = 1'-0"

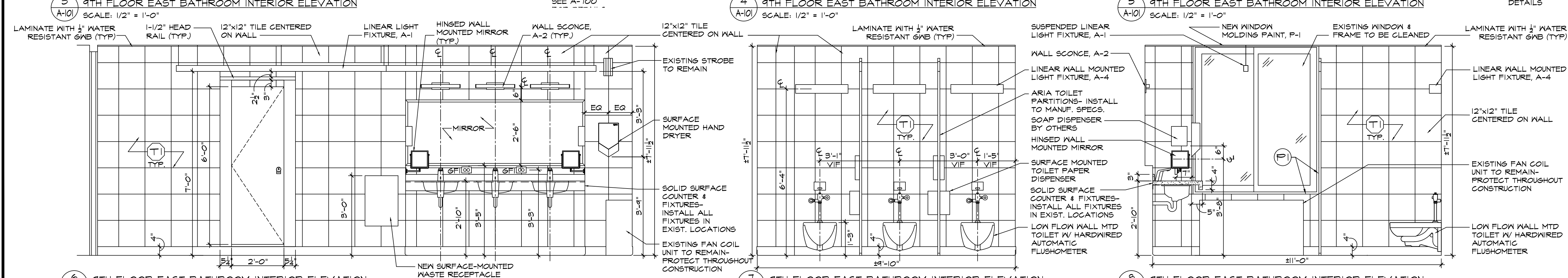
2 9TH FLOOR EAST REFLECTED CEILING PLAN
SCALE: 1/2" = 1'-0"



3 9TH FLOOR EAST BATHROOM INTERIOR ELEVATION
SCALE: 1/2" = 1'-0"

4 9TH FLOOR EAST BATHROOM INTERIOR ELEVATION
SCALE: 1/2" = 1'-0"

5 9TH FLOOR EAST BATHROOM INTERIOR ELEVATION
SCALE: 1/2" = 1'-0"



6 9TH FLOOR EAST BATHROOM INTERIOR ELEVATION
SCALE: 1/2" = 1'-0"

7 9TH FLOOR EAST BATHROOM INTERIOR ELEVATION
SCALE: 1/2" = 1'-0"

8 9TH FLOOR EAST BATHROOM INTERIOR ELEVATION
SCALE: 1/2" = 1'-0"

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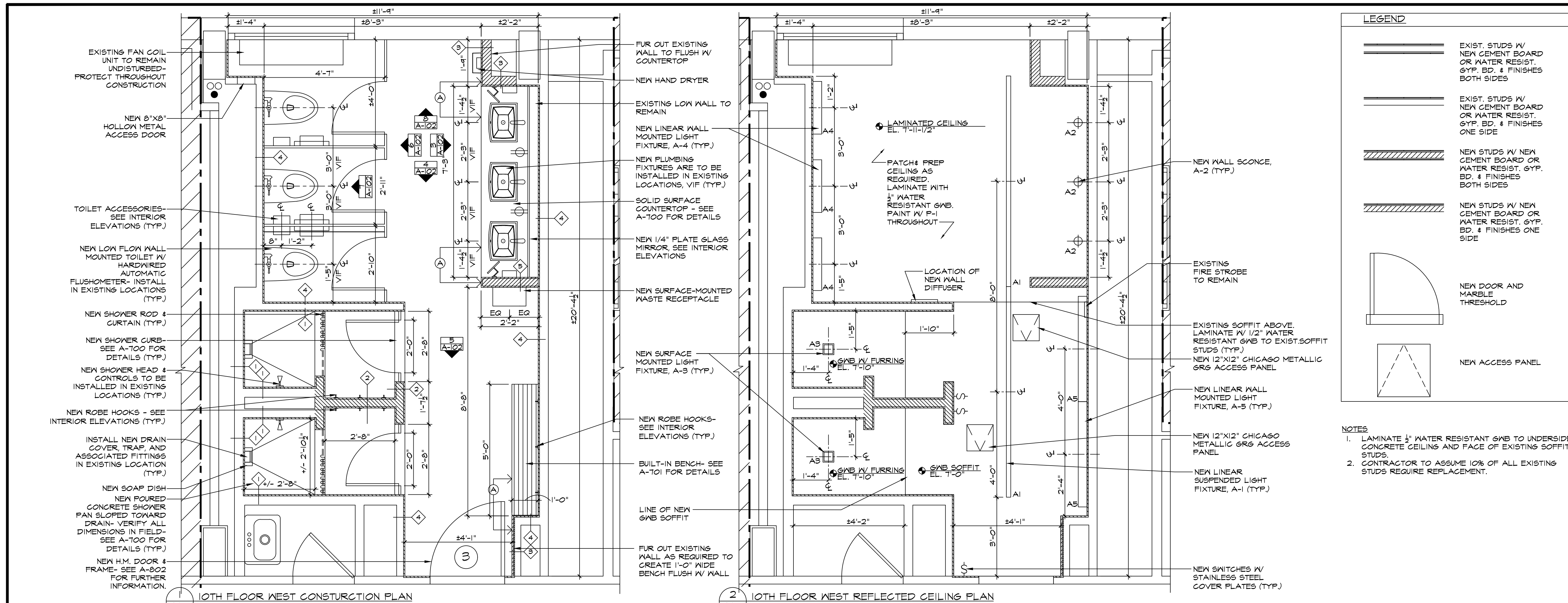
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230 WEST 27TH ST
NEW YORK NY 10001

DRAWING TITLE:
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SEAL & SIGNATURE: _____ DATE: 03.15.2022
PROJECT No: 13284.110
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CHK BY: GS
DWG No: _____
A-101.00
SCALE AS NOTED 9 of 16

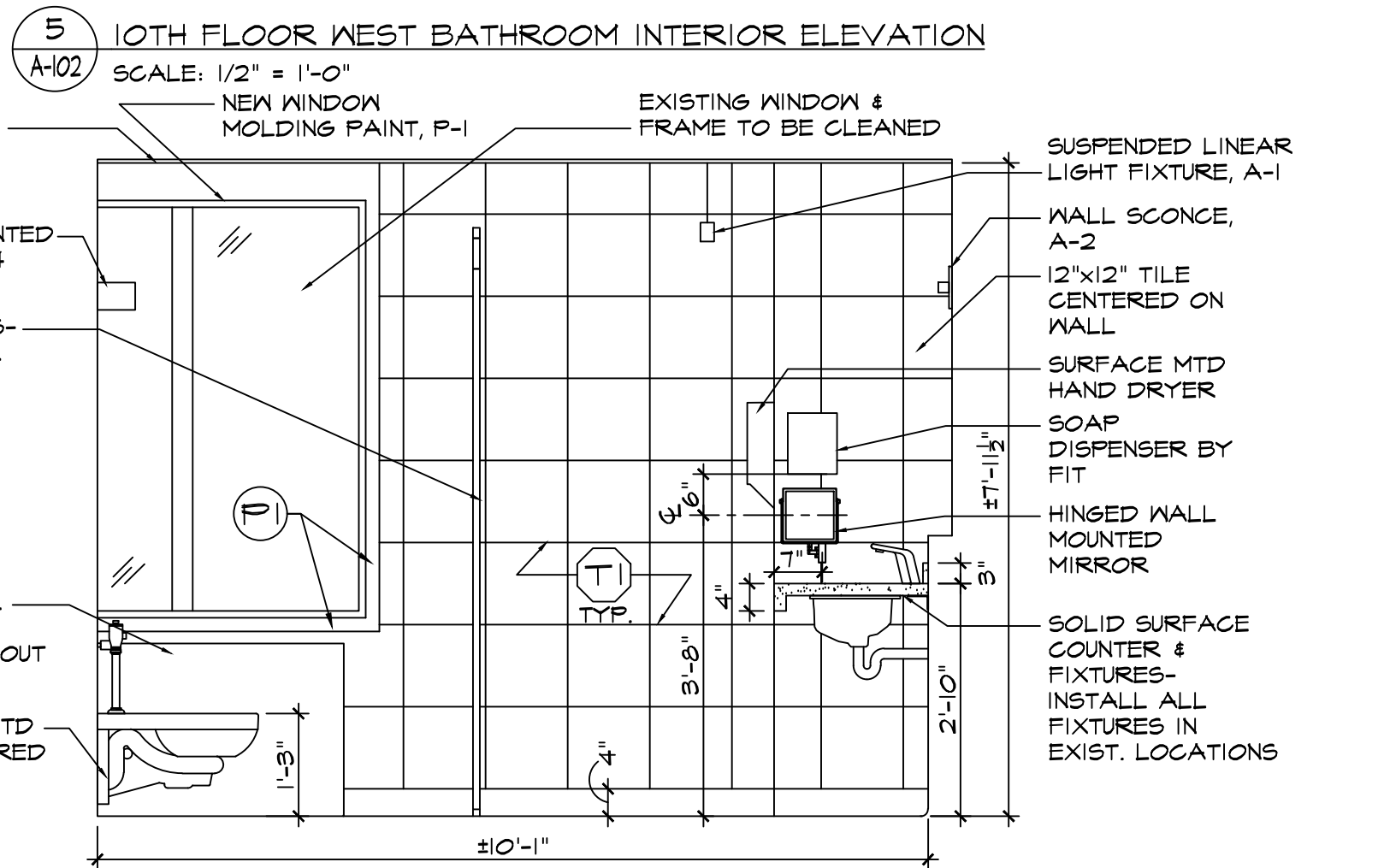
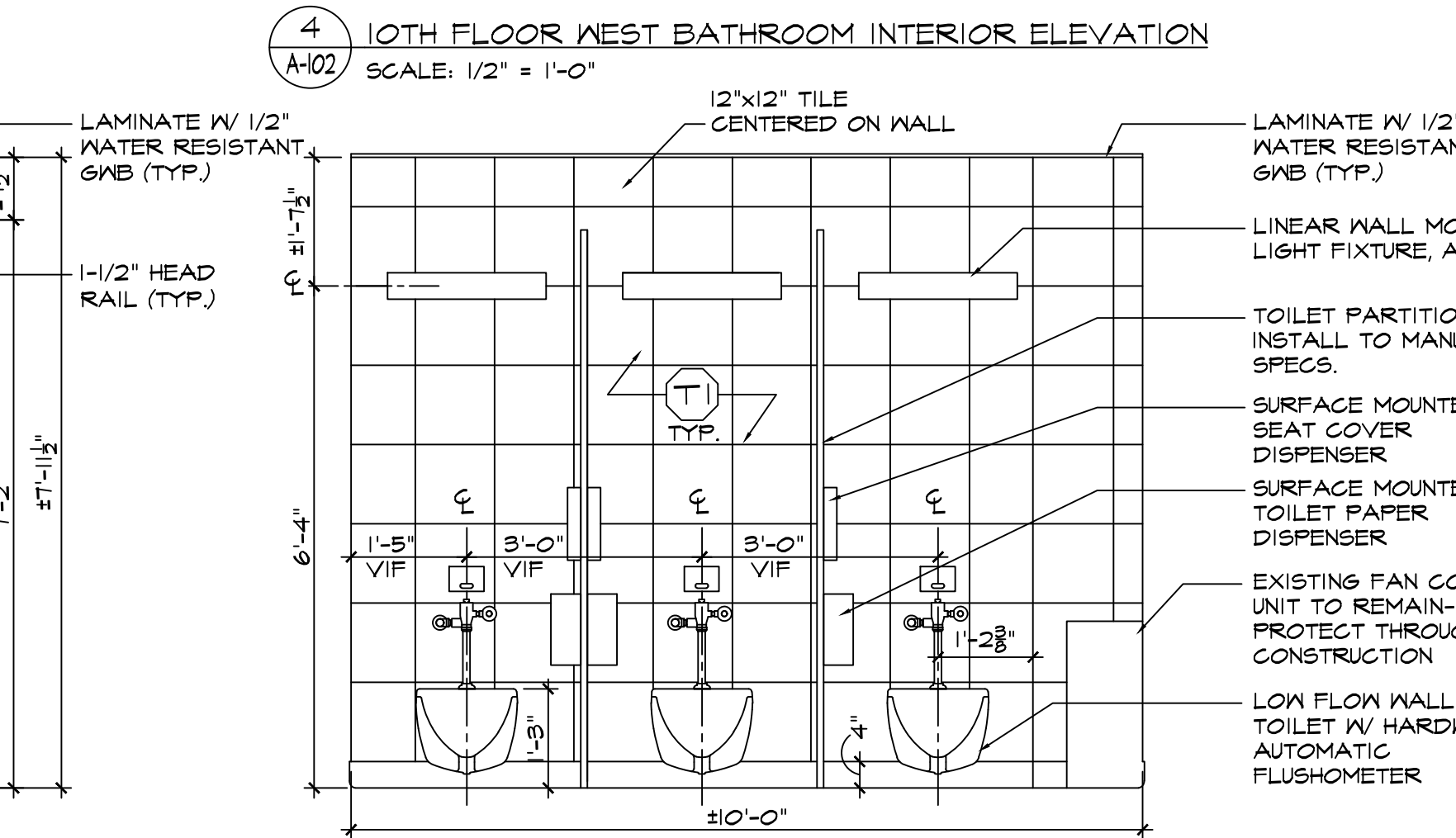
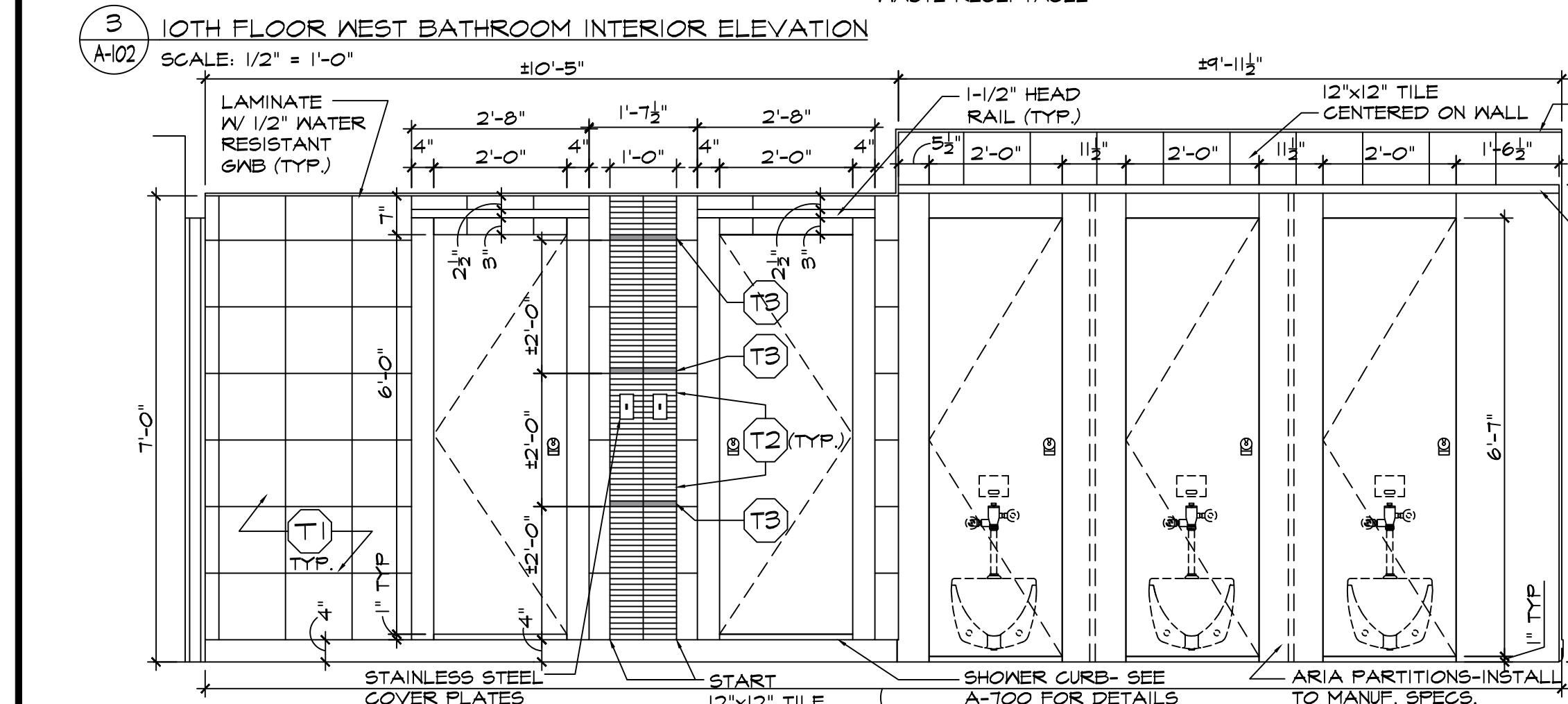
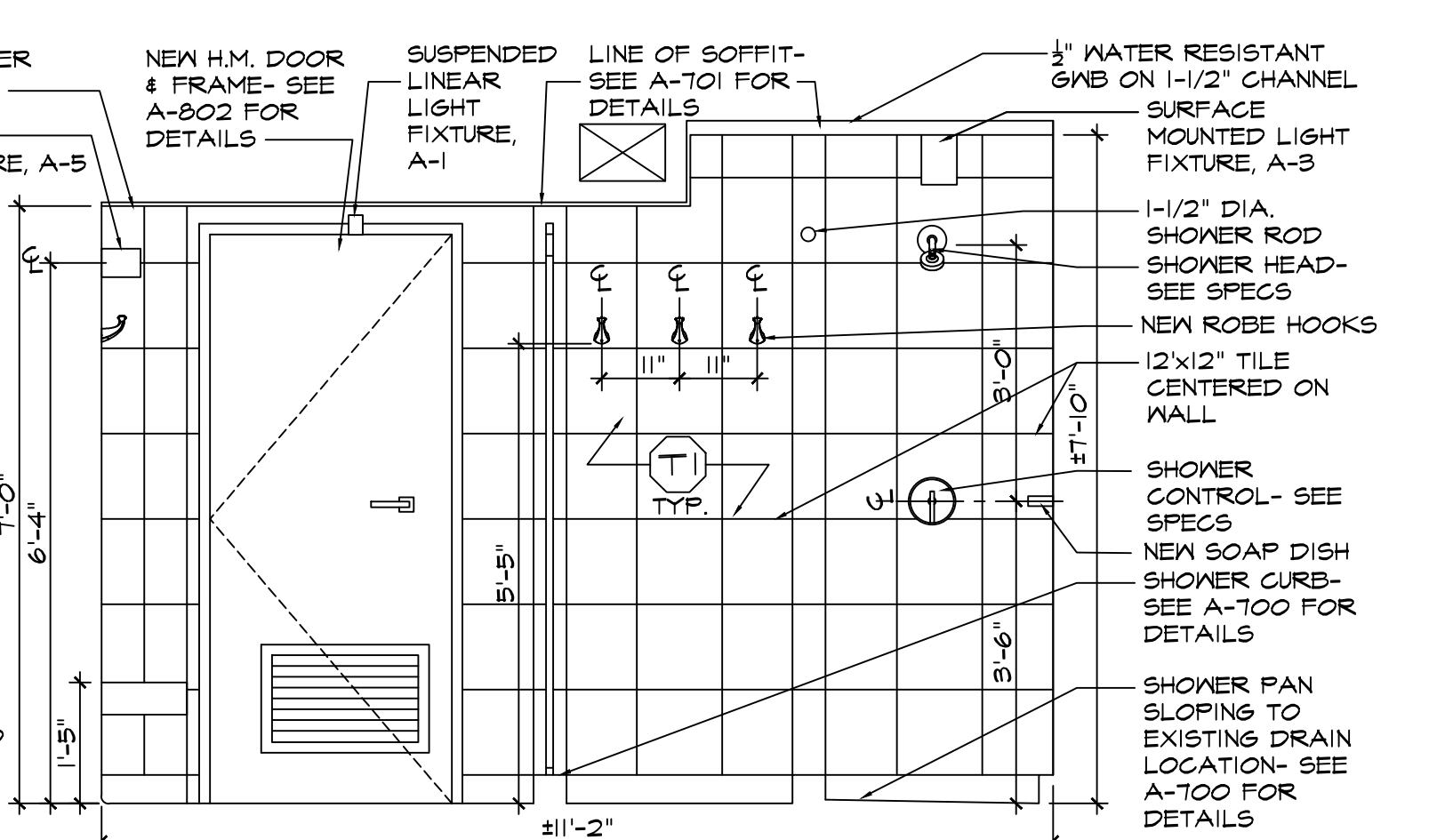
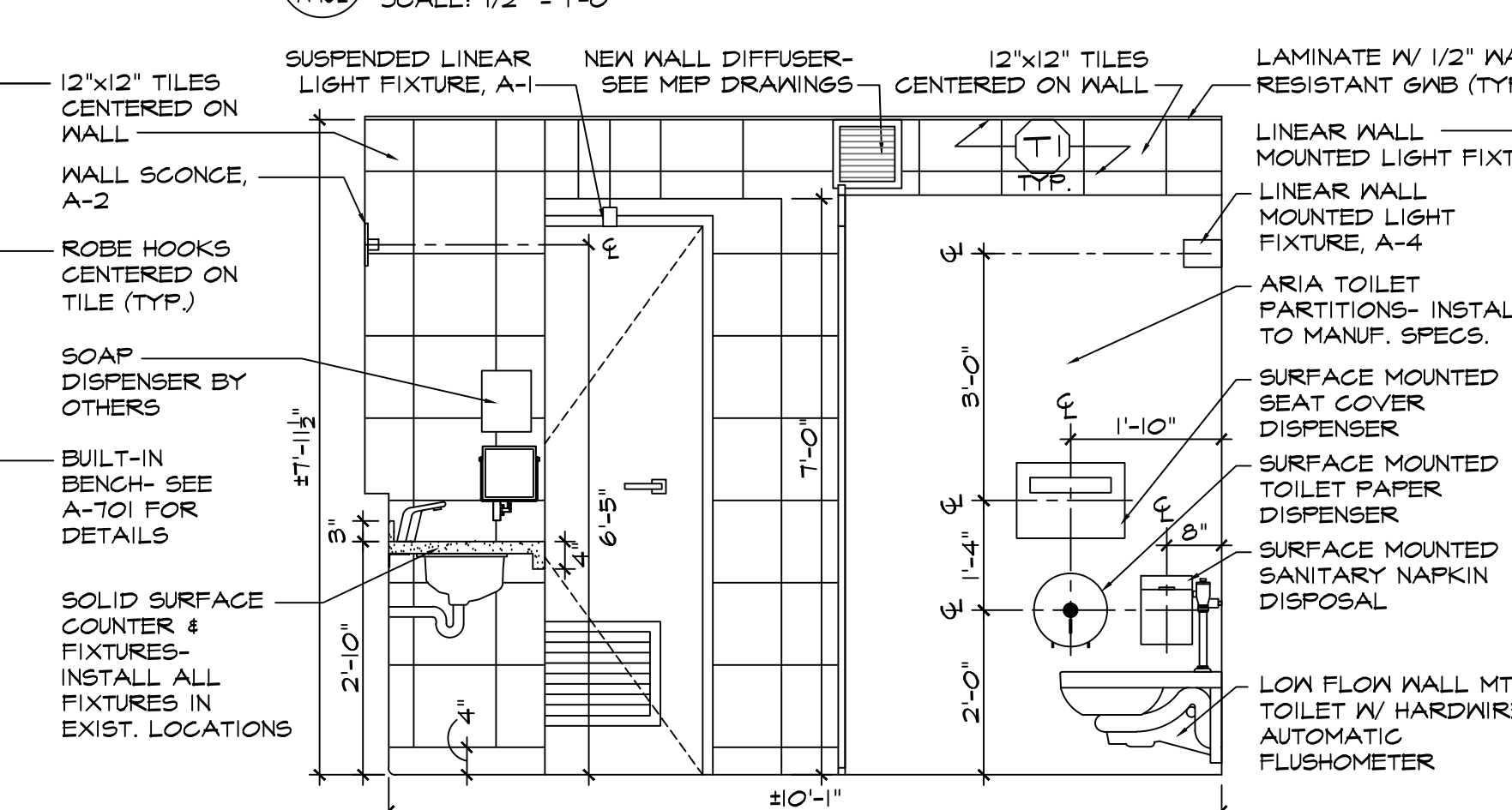
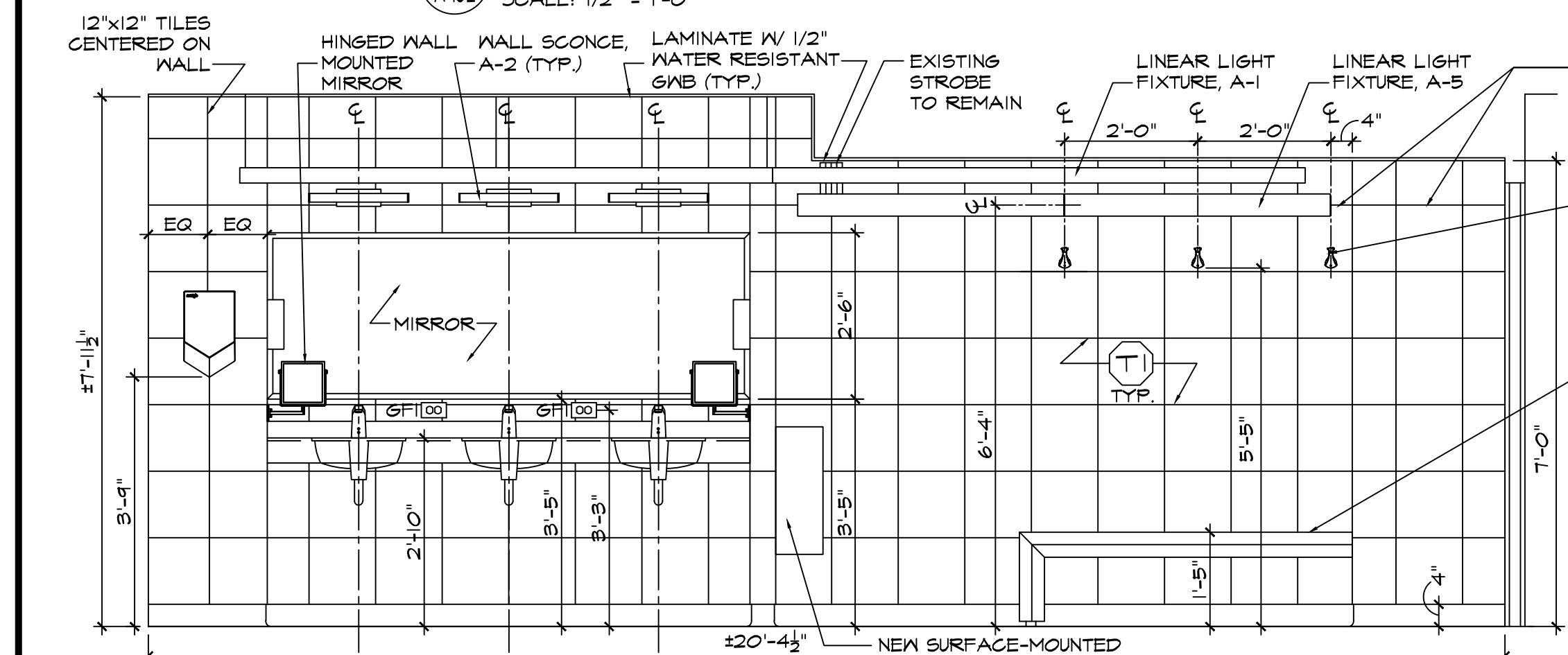
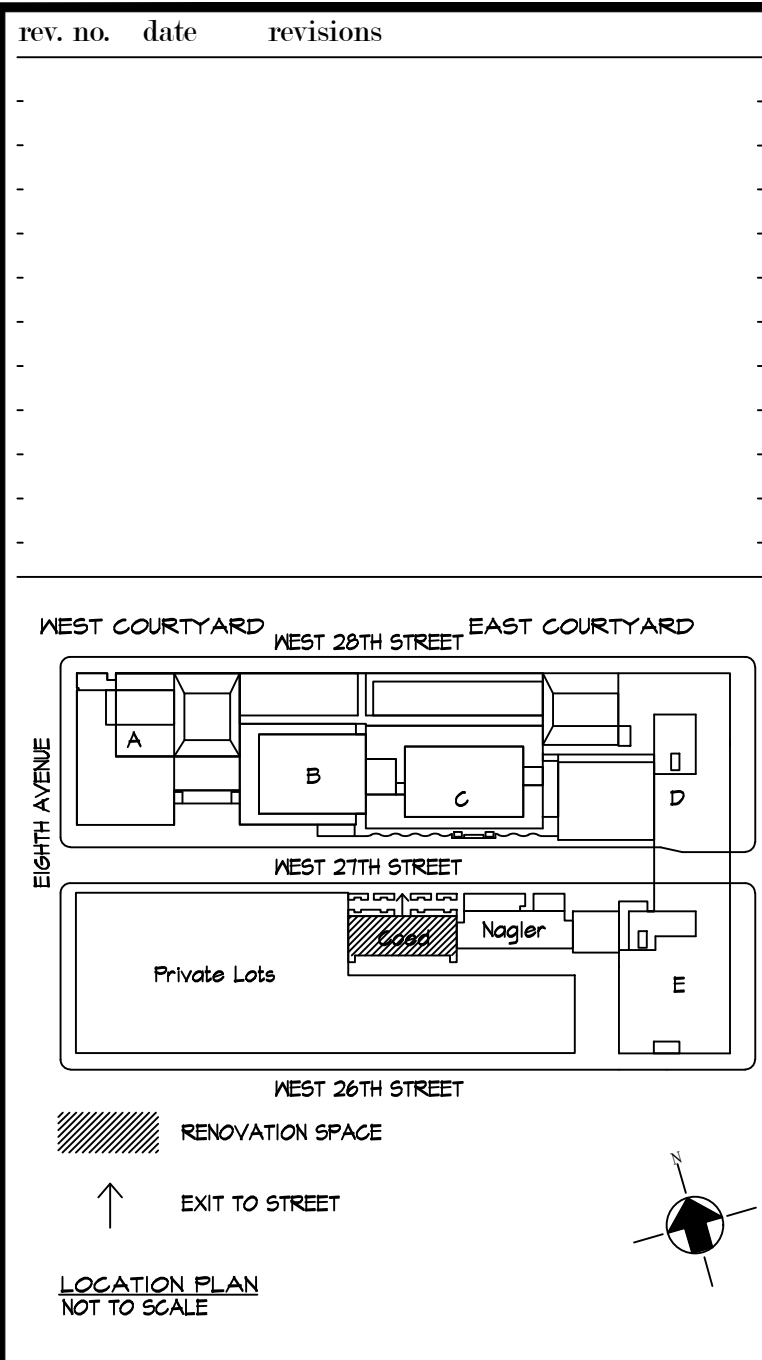


LEGEND

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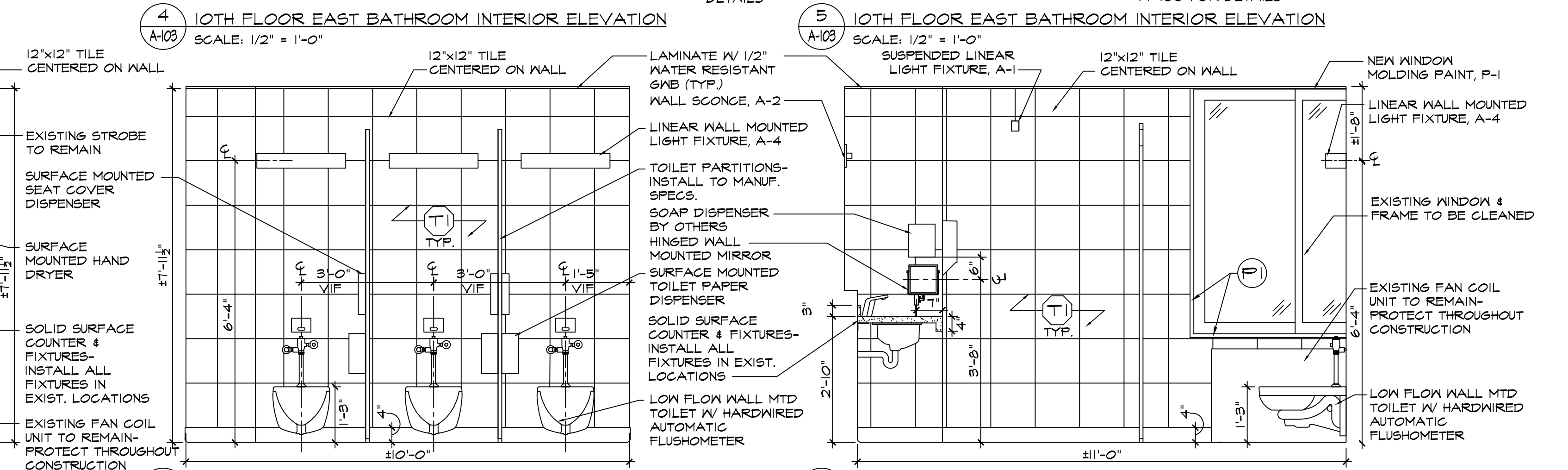
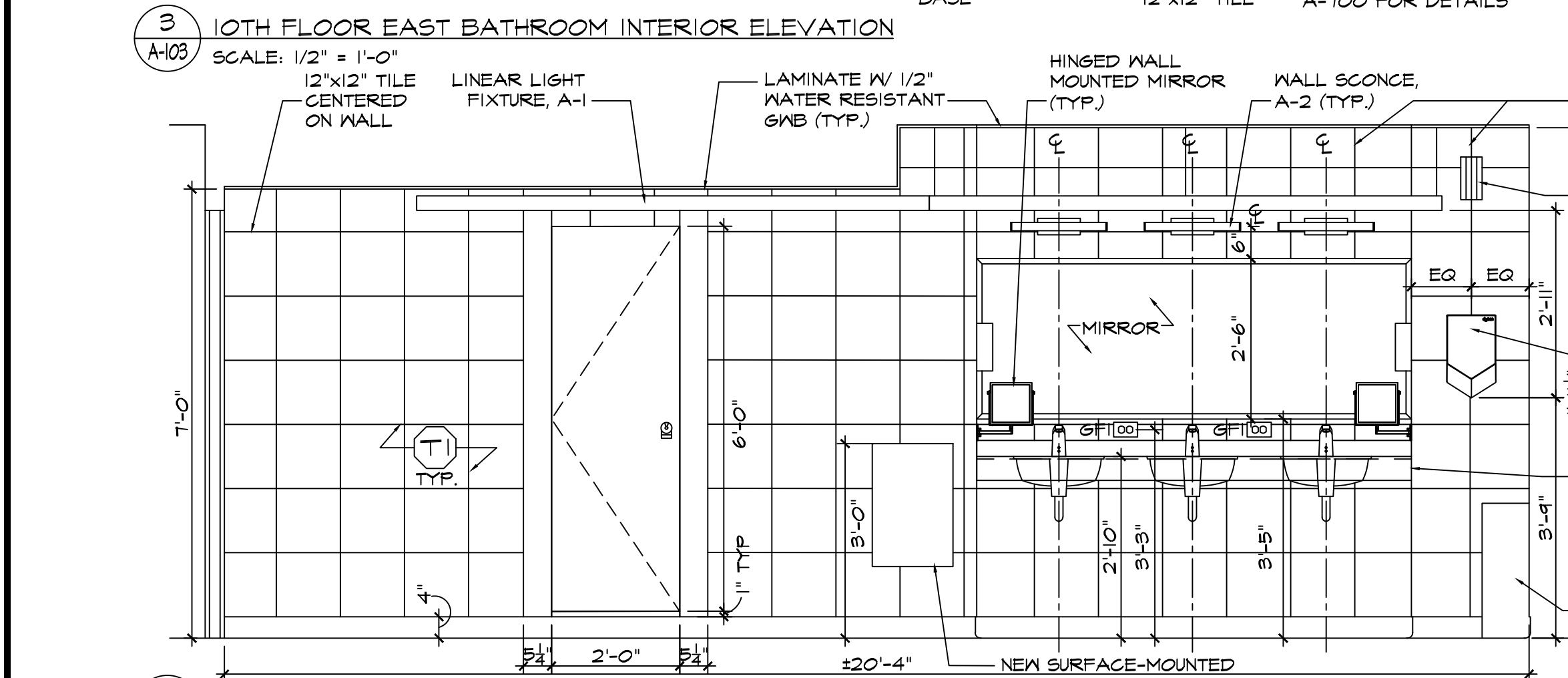
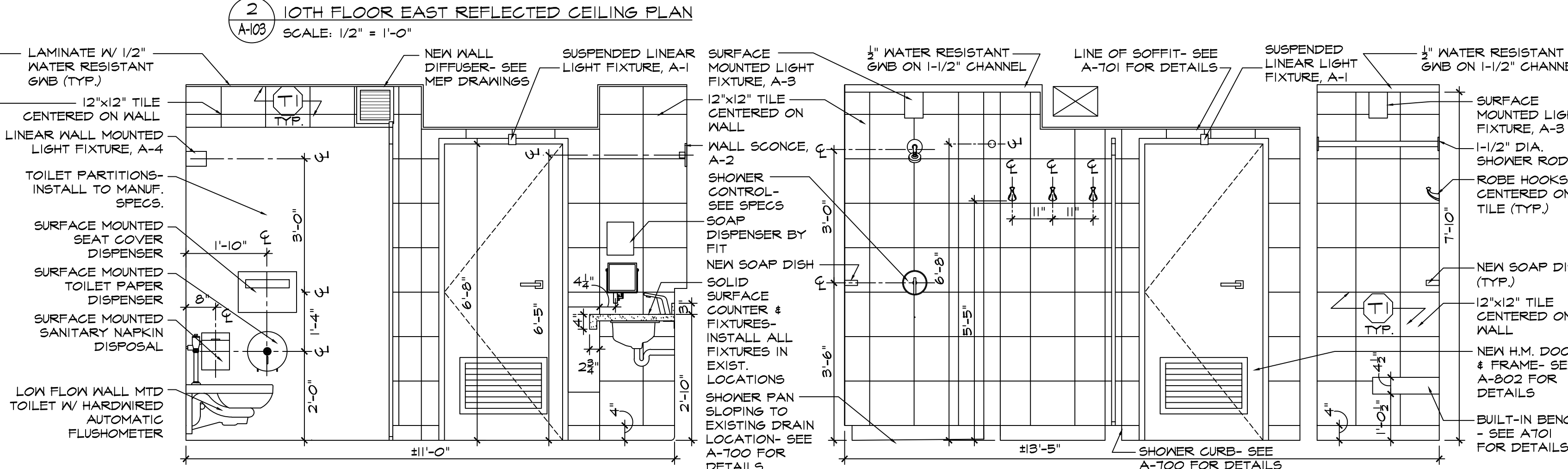
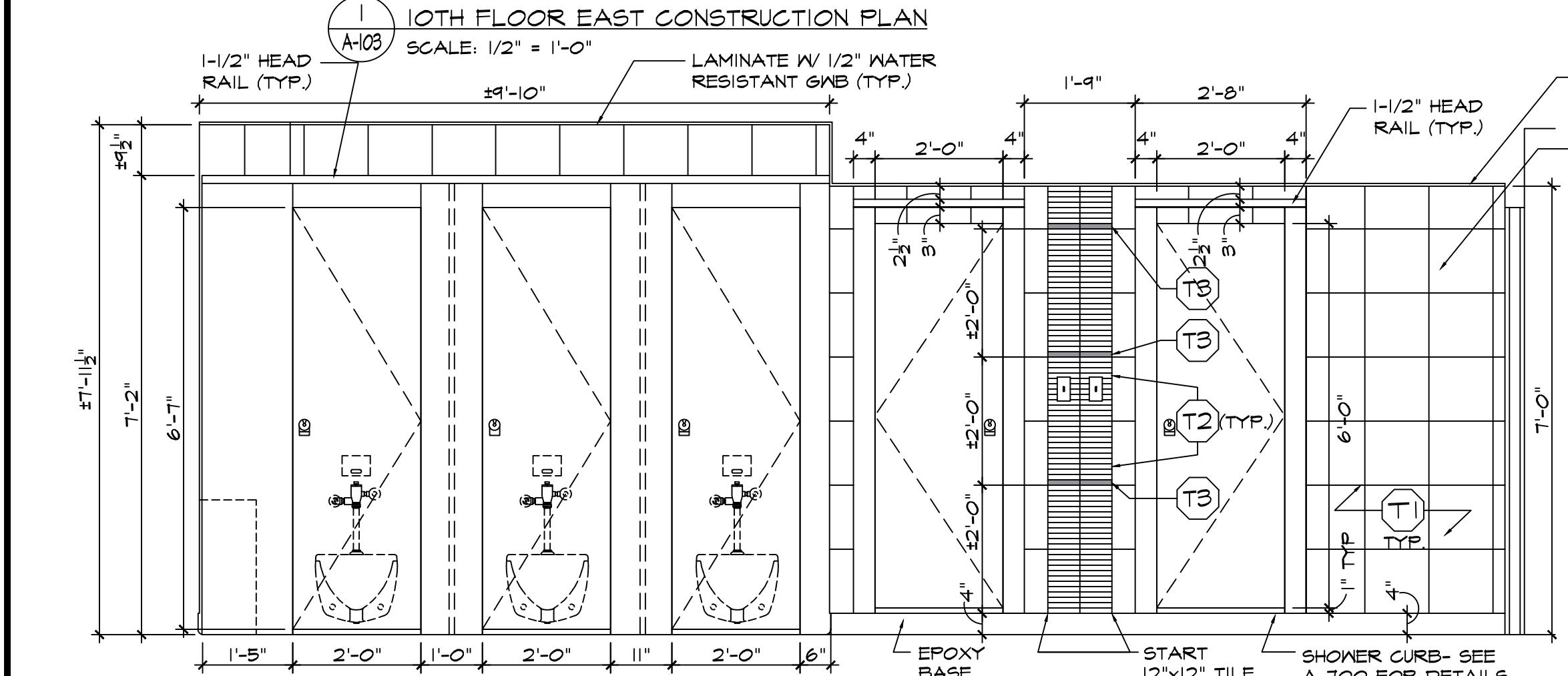
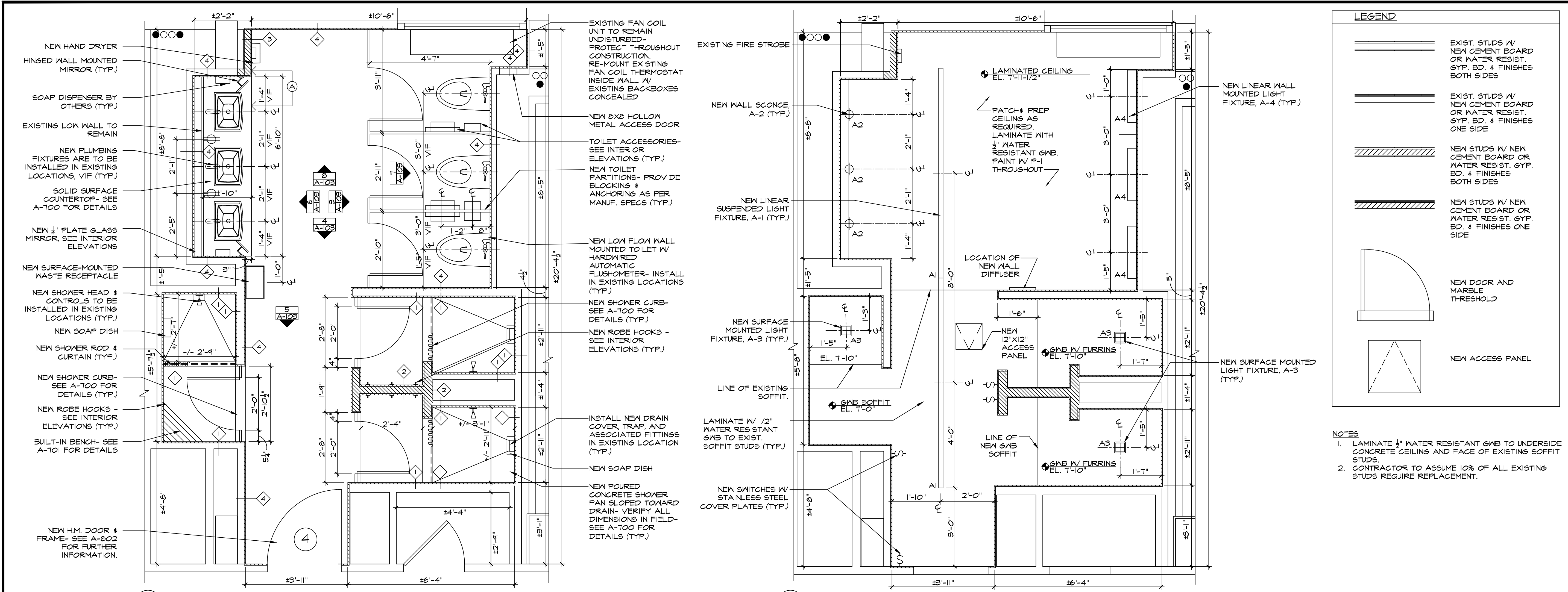
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PROJECT:
 CO-ED RESIDENCE HALL BATHROOM RENOVATIONS - 9TH-10TH FLOORS
 230 WEST 27TH ST
 NEW YORK NY 10001

DRAWING TITLE:
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 INTERIOR ELEVATIONS -
 10TH FLOOR WEST

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DATE: 09.15.2022
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 CHK BY: GS
 DWG No:
A-102.00
 SCALE AS NOTED 10 of 16

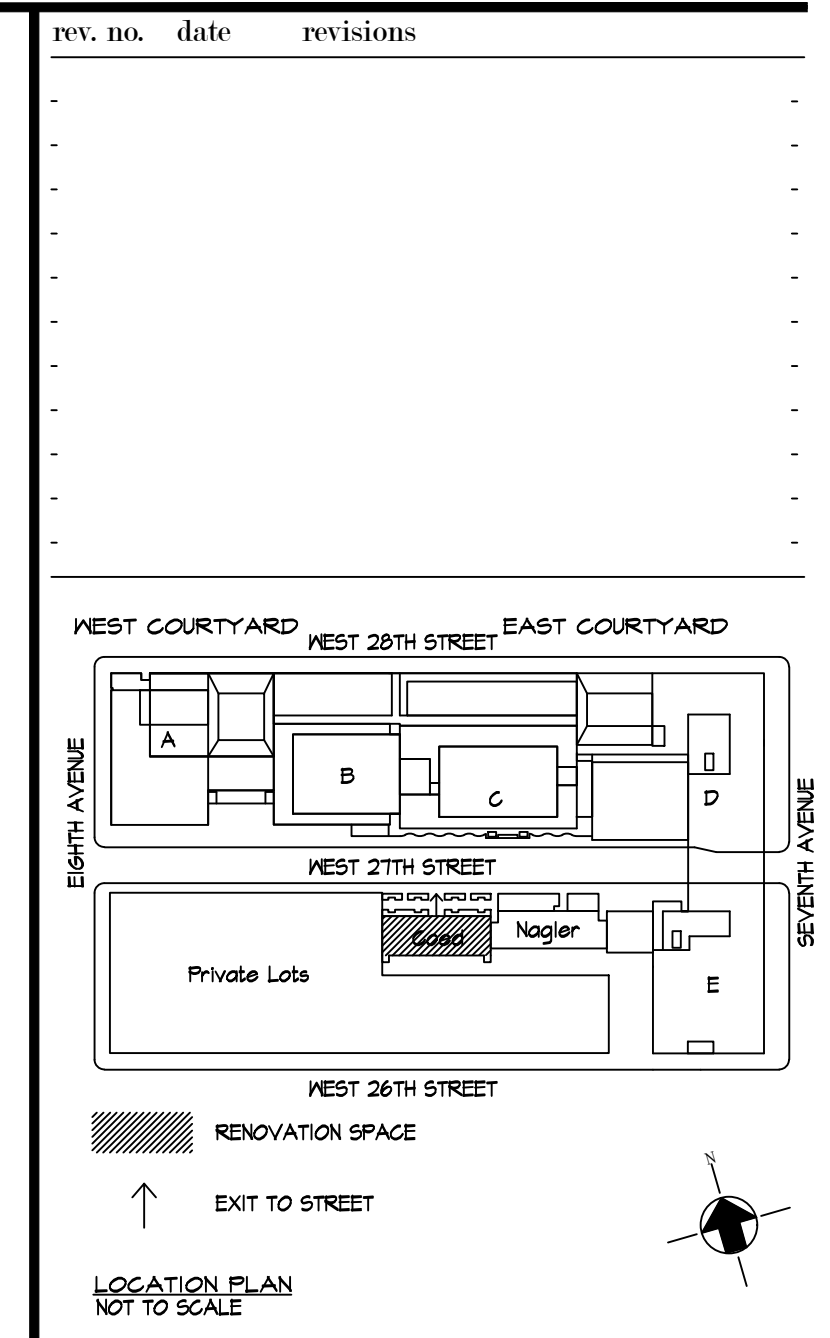


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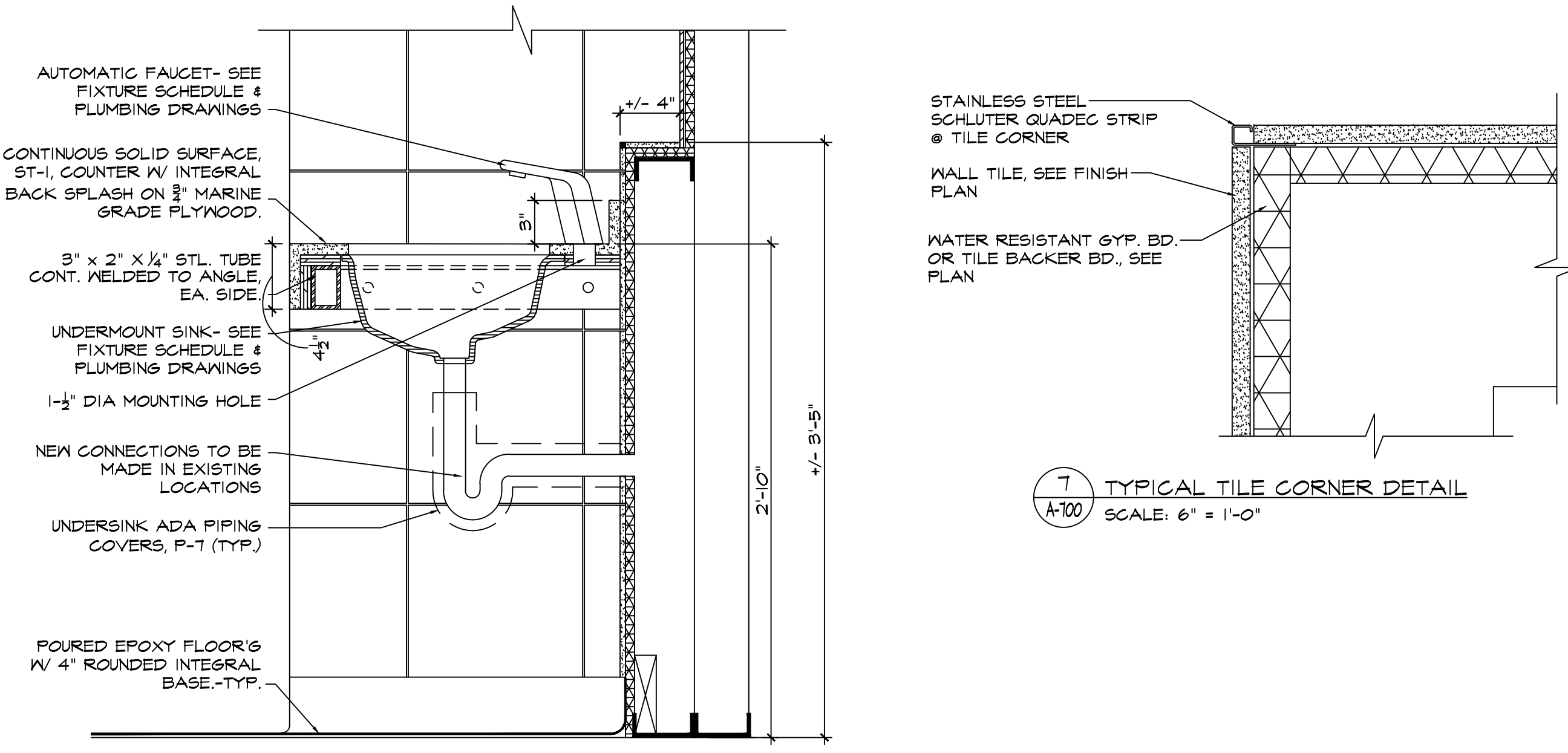
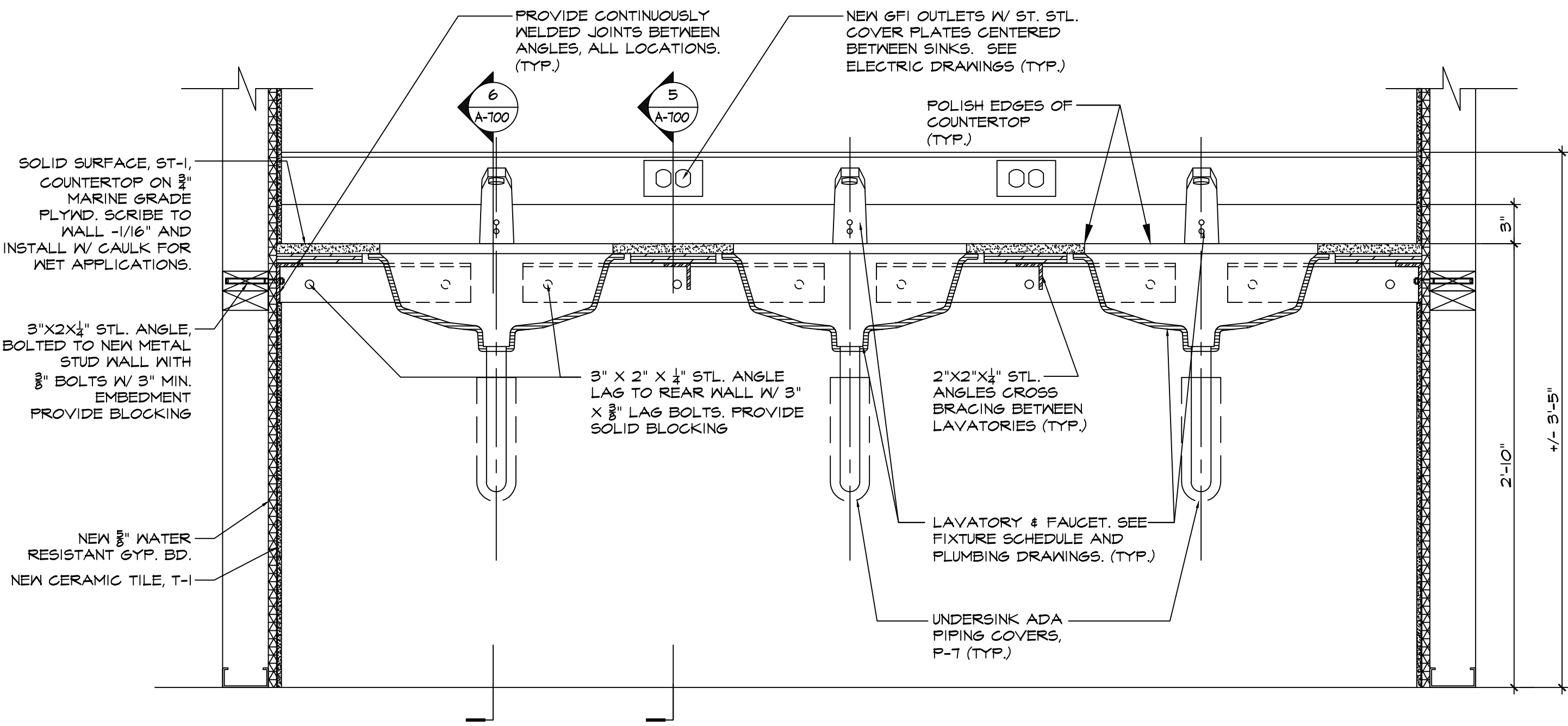
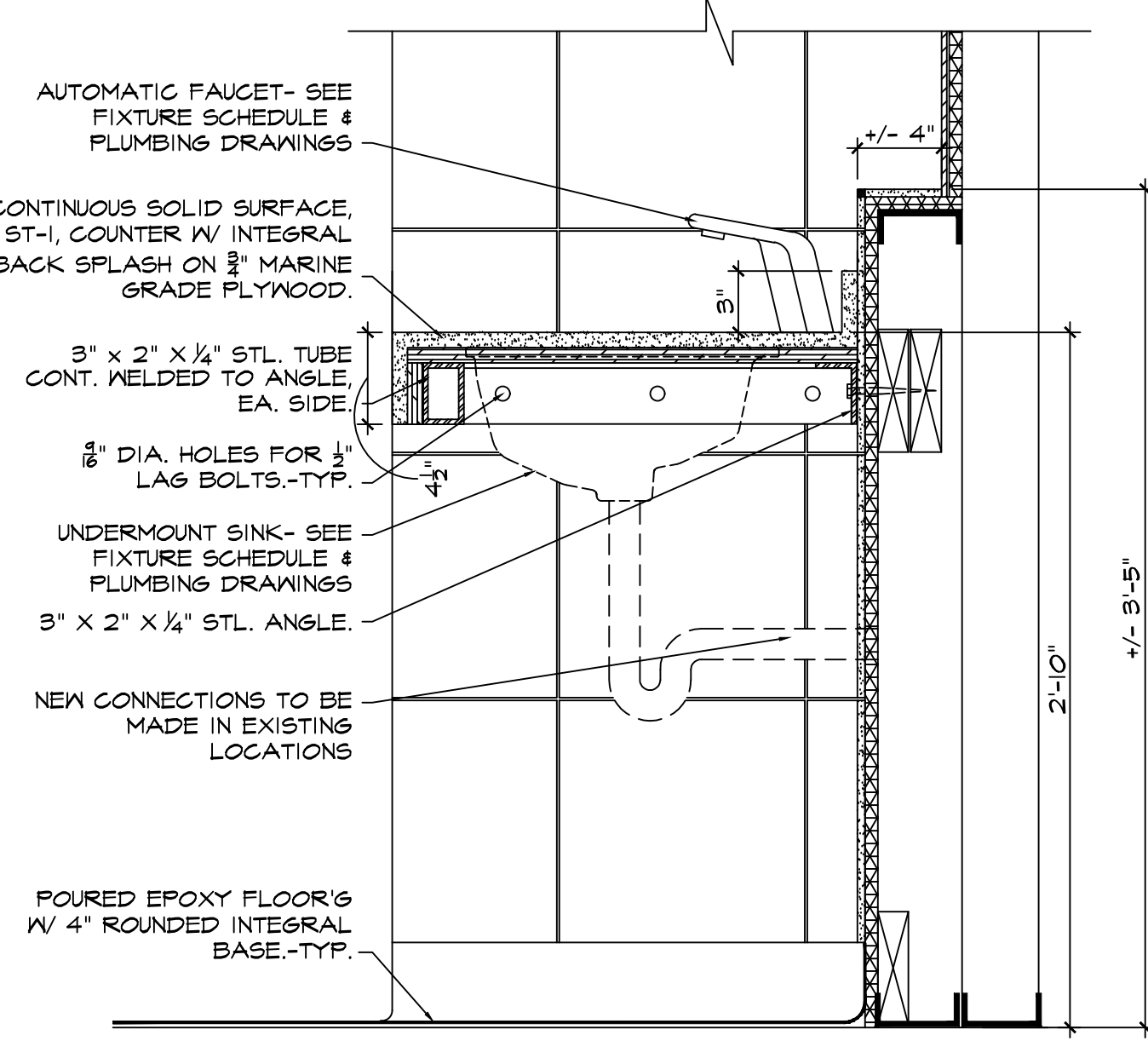
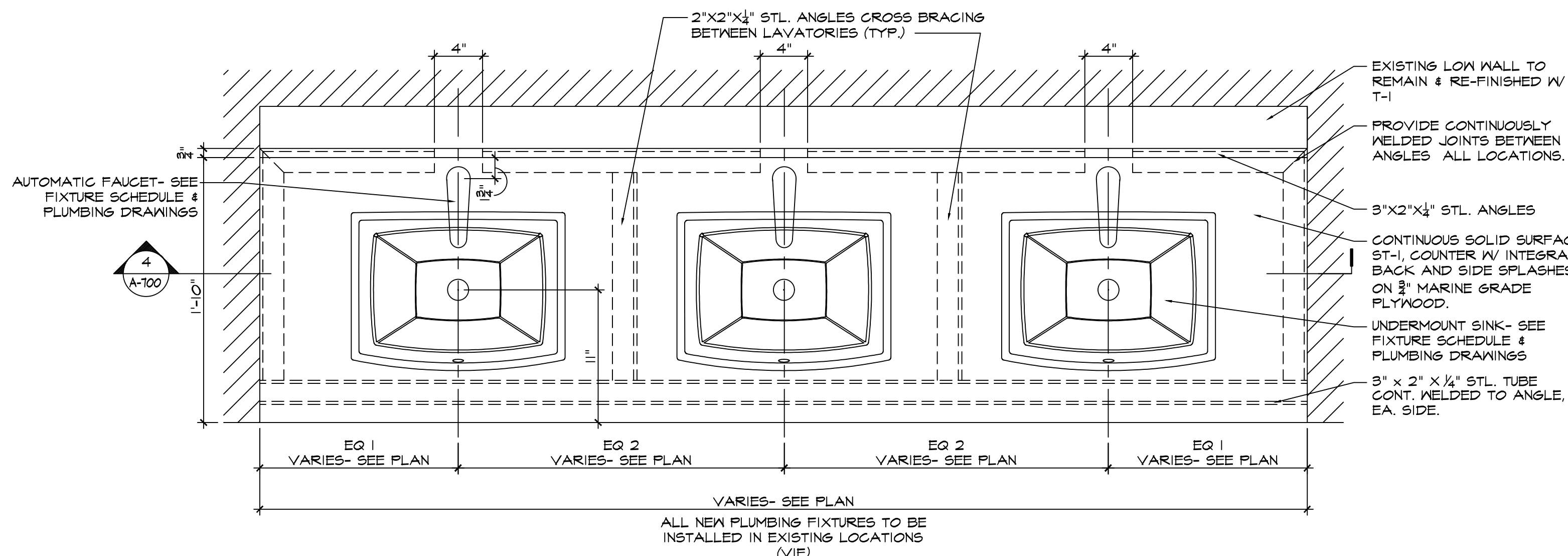
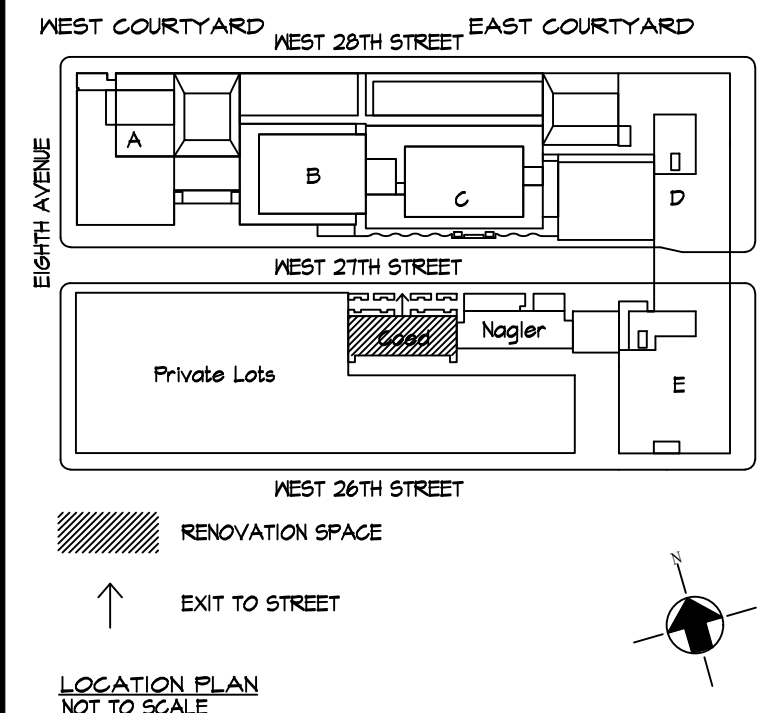
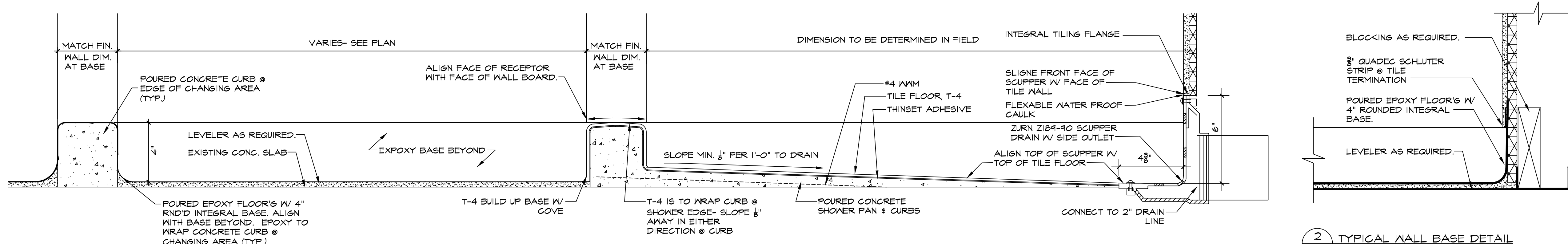
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PROJECT:
 CO-ED RESIDENCE HALL BATHROOM RENOVATIONS - 9TH-10TH FLOORS
 230 WEST 27TH ST
 NEW YORK NY 10001

DRAWING TITLE:
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 INTERIOR ELEVATIONS -
 10TH FLOOR EAST

SEAL & SIGNATURE: _____ DATE: 09.15.2022
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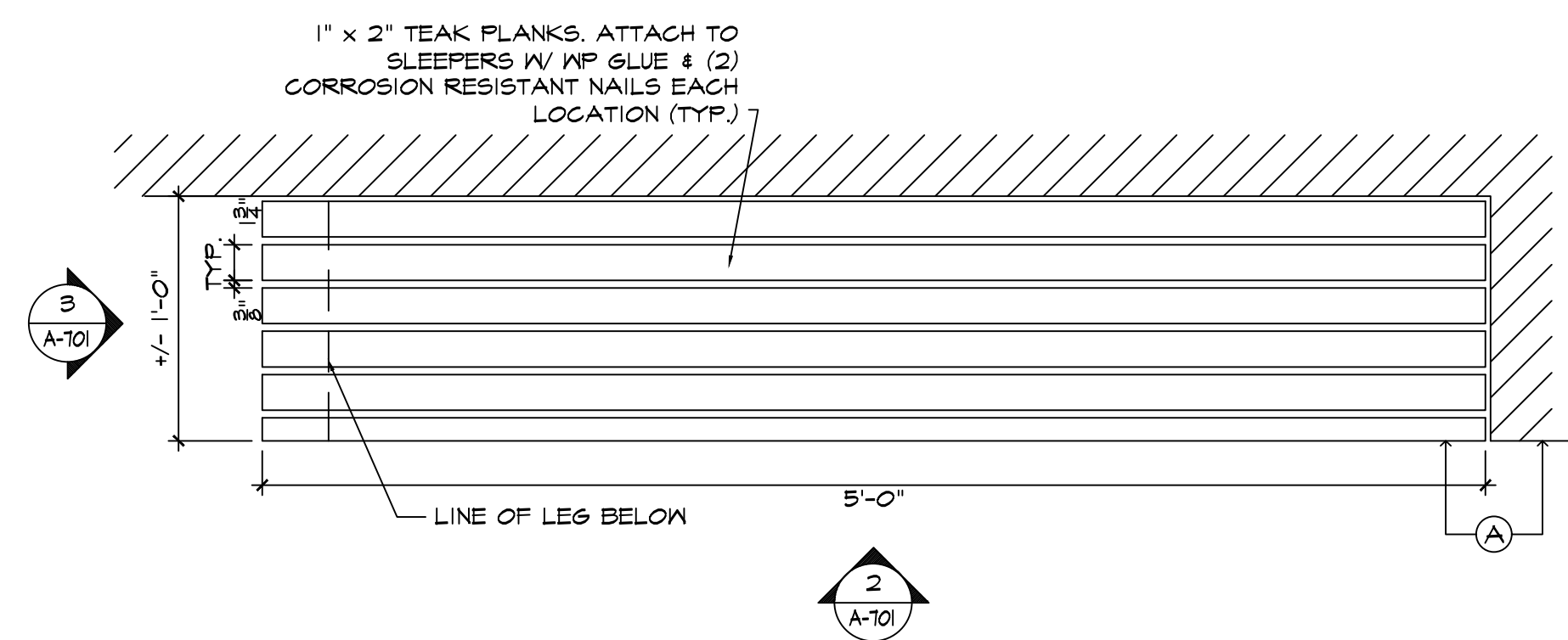
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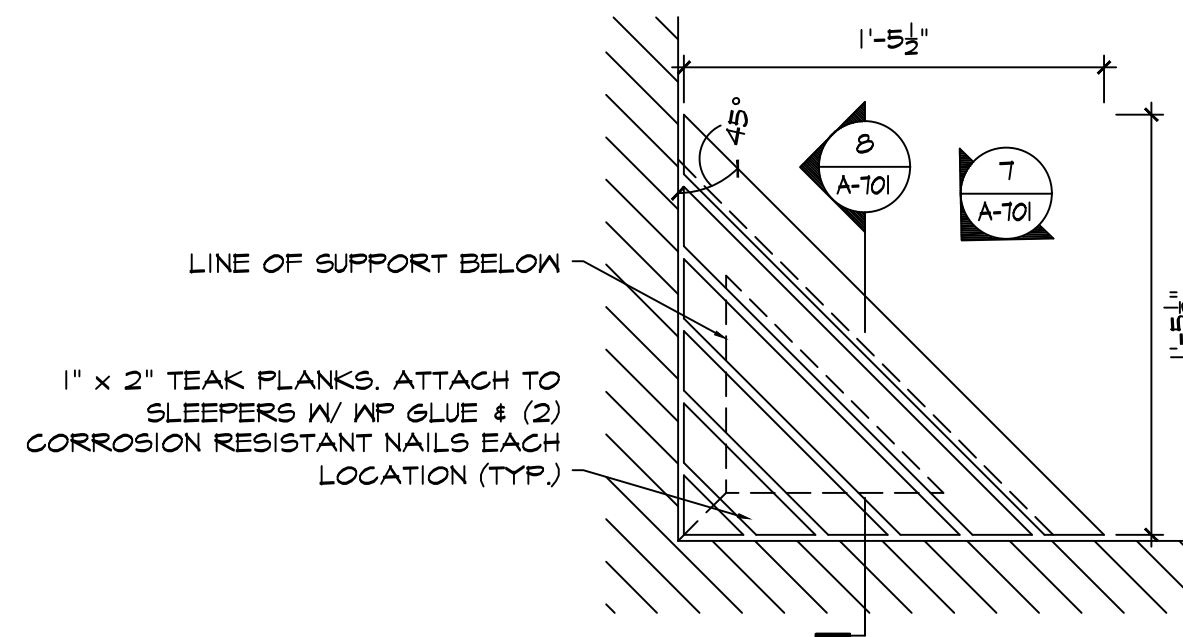
PROJECT:
CO-ED RESIDENCE HALL BATHROOM
RENOVATIONS - 9TH-10TH FLOORS
230 WEST 27TH ST
NEW YORK NY 10001

DRAWING TITLE:
INTERIOR DETAILS

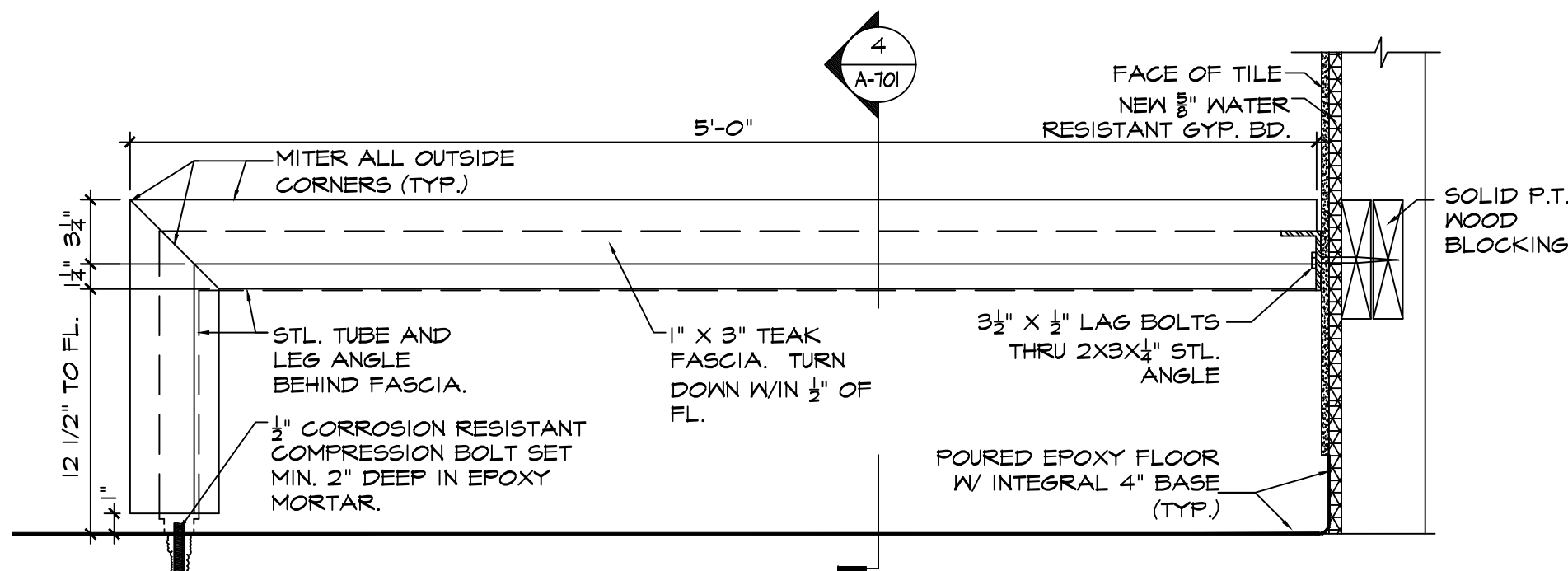
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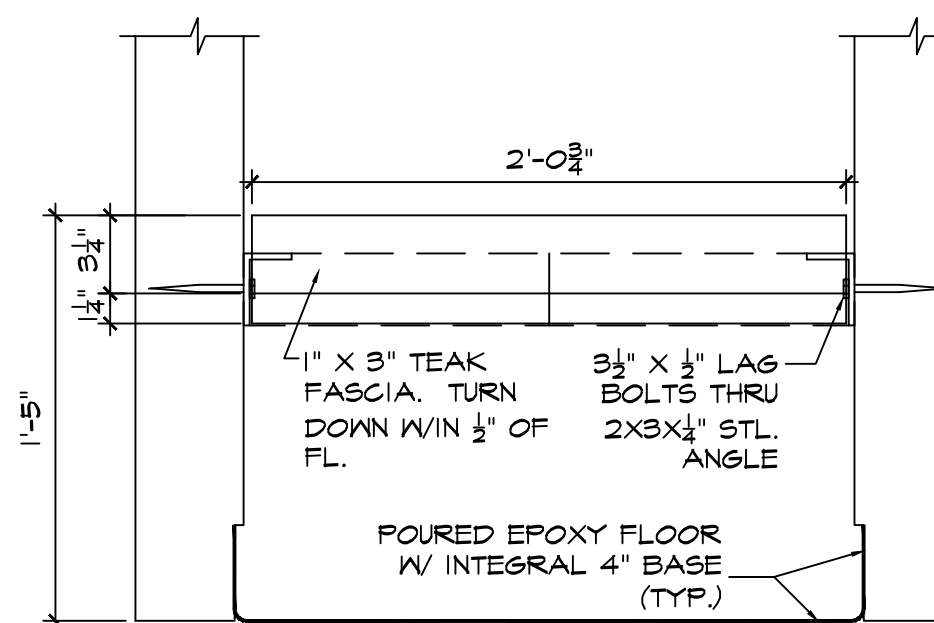
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A-101 SCALE: 1-1/2" = 1'-0"



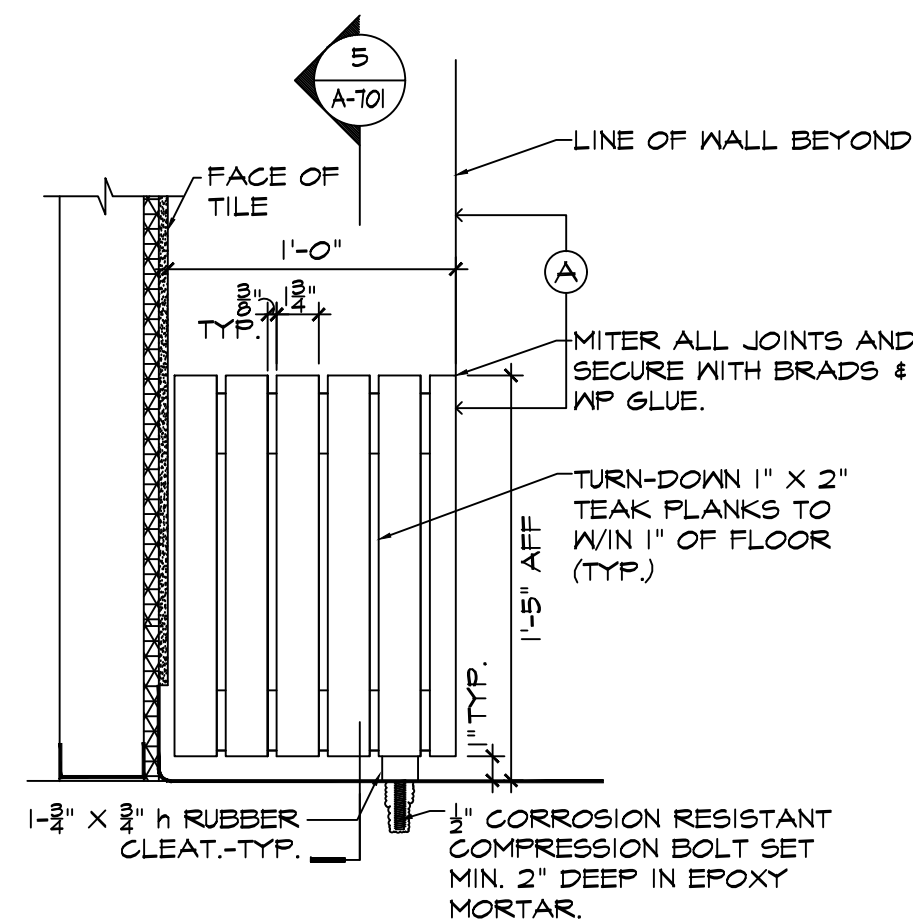
6 CORNER BENCH PLAN
A-101 SCALE: 1-1/2" = 1'-0"



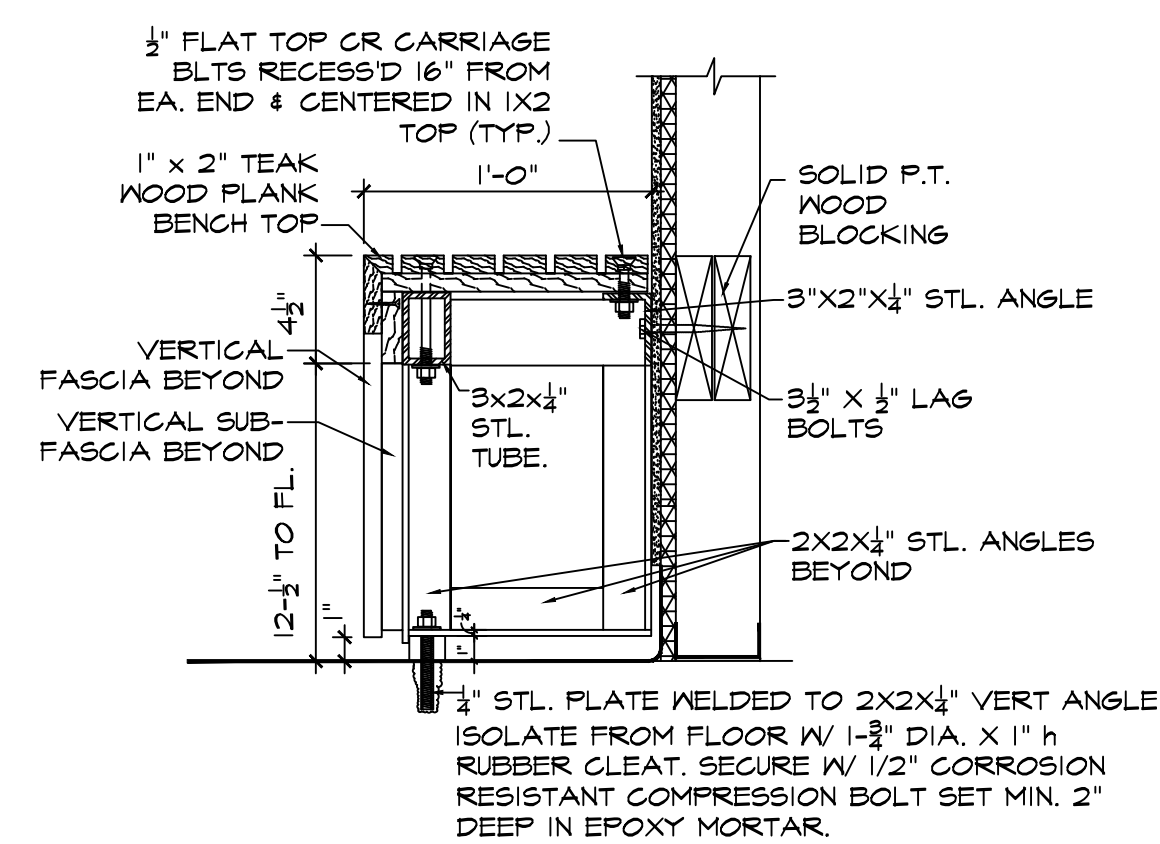
2 BATHROOM BENCH W/ LEG ELEVATION
A-101 SCALE: 1-1/2" = 1'-0"



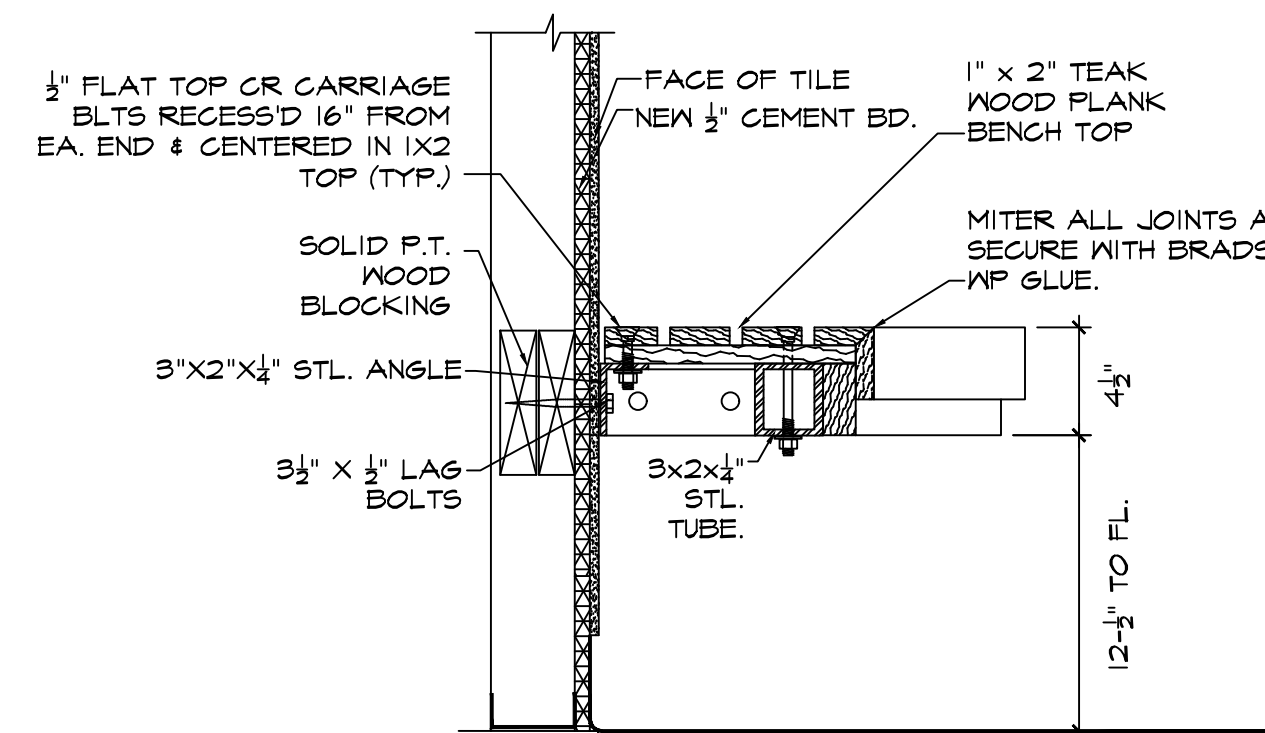
7 CORNER BENCH ELEVATION
A-101 SCALE: 1-1/2" = 1'-0"



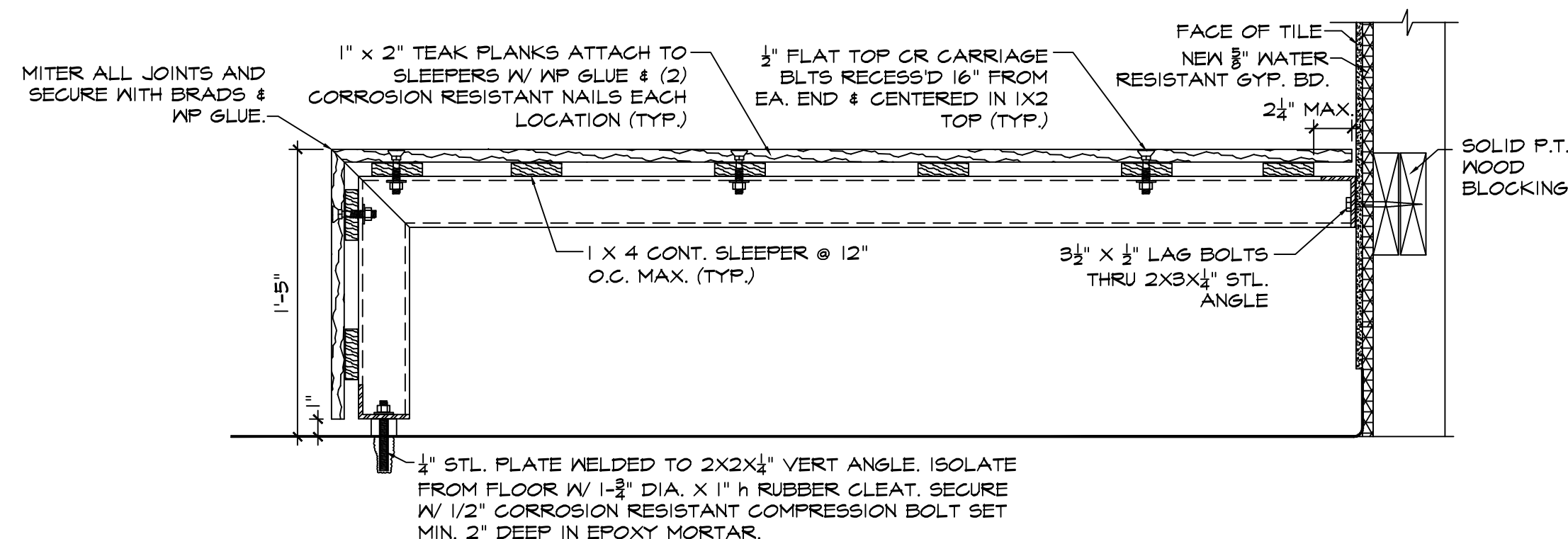
3 BATHROOM BENCH W/ LEG ELEVATION
A-101 SCALE: 1-1/2" = 1'-0"



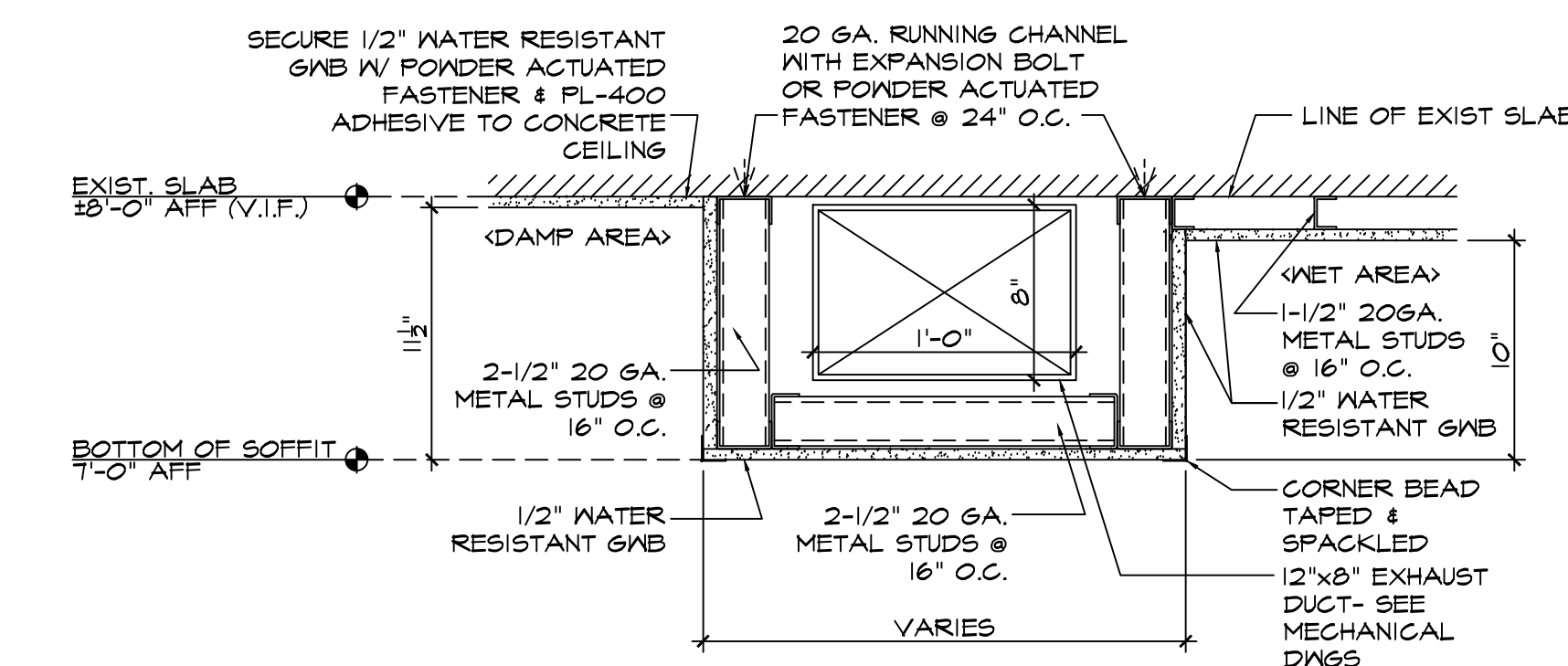
4 BATHROOM BENCH W/ LEG SECTION
A-101 SCALE: 1-1/2" = 1'-0"



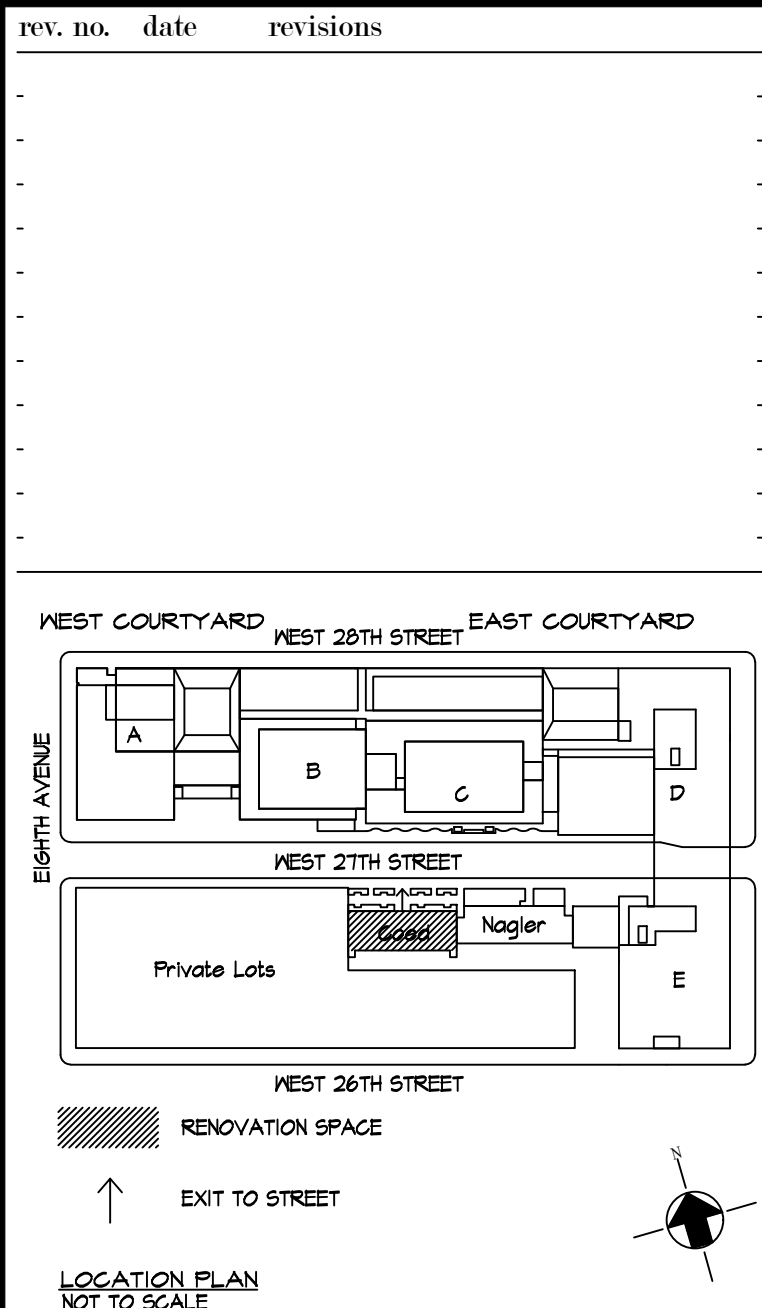
8 CORNER BENCH SECTION
A-101 SCALE: 1-1/2" = 1'-0"



5 BATHROOM BENCH W/ LEG SECTION
A-101 SCALE: 1-1/2" = 1'-0"



9 TYPICAL SOFFIT DETAIL
A-101 SCALE: 1-1/2" = 1'-0"



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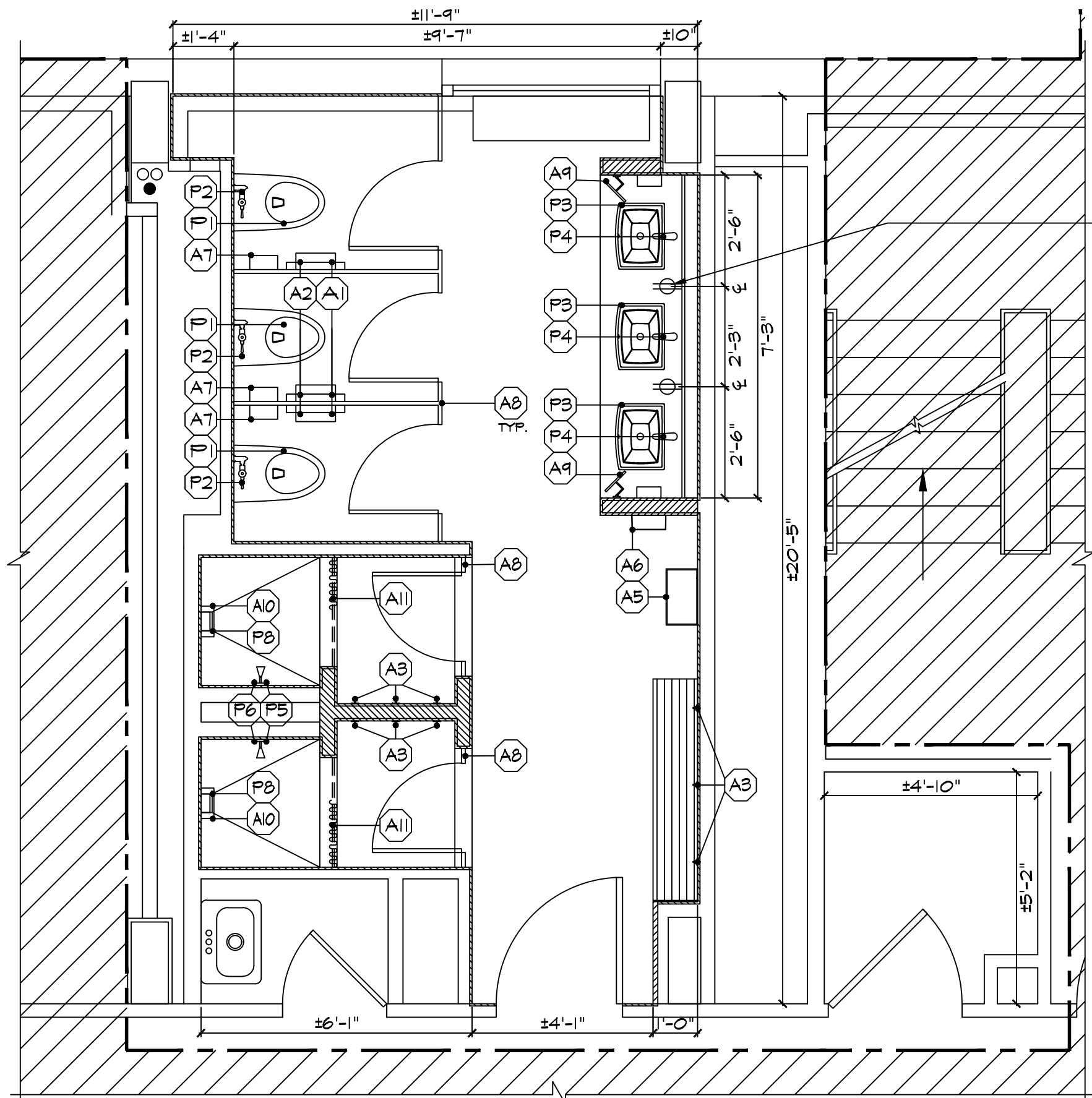
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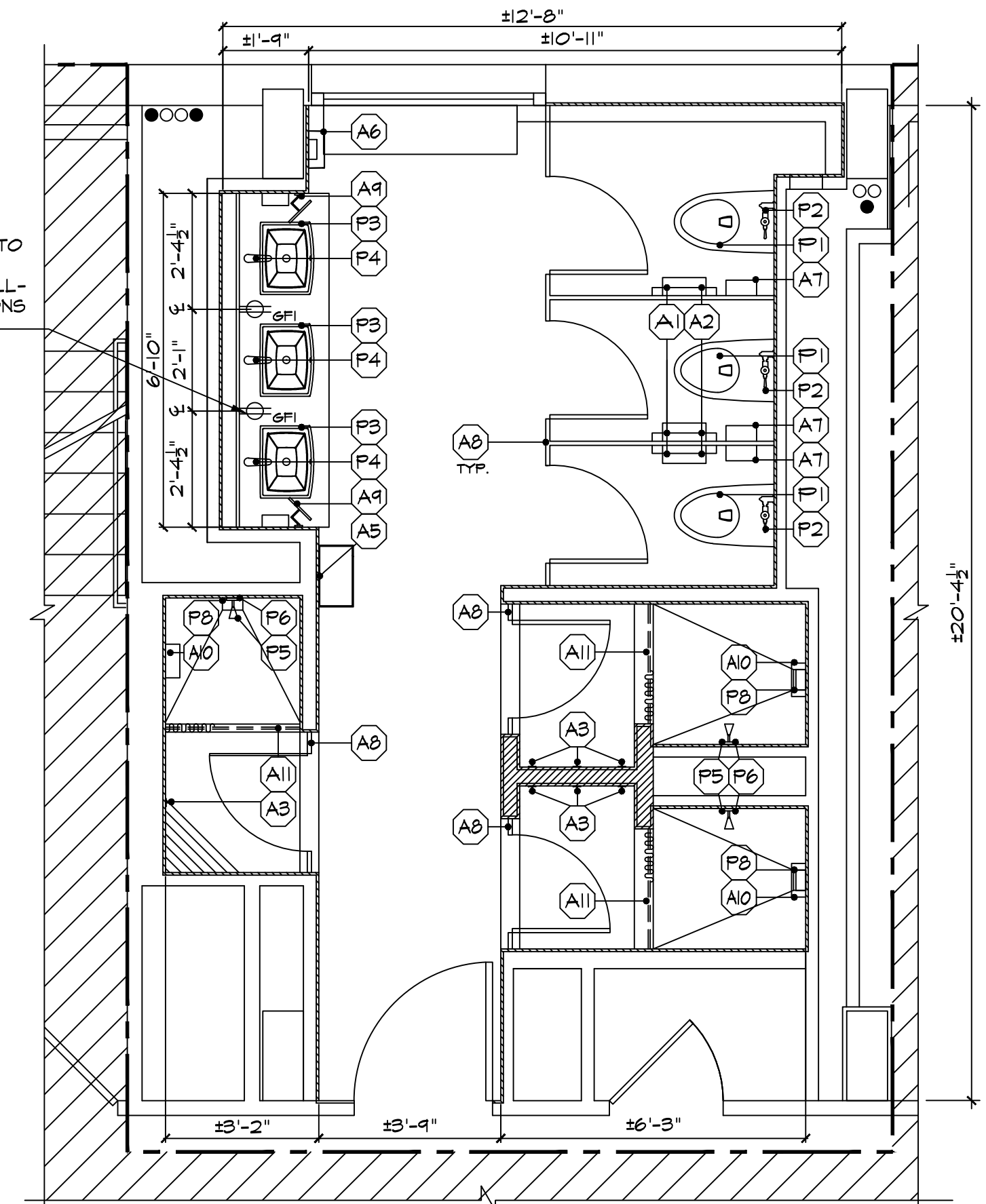
PROJECT:
CO-ED RESIDENCE HALL BATHROOM
RENOVATIONS - 9TH-10TH FLOORS
230 WEST 27TH ST
NEW YORK NY 10001

DRAWING TITLE:
INTERIOR DETAILS

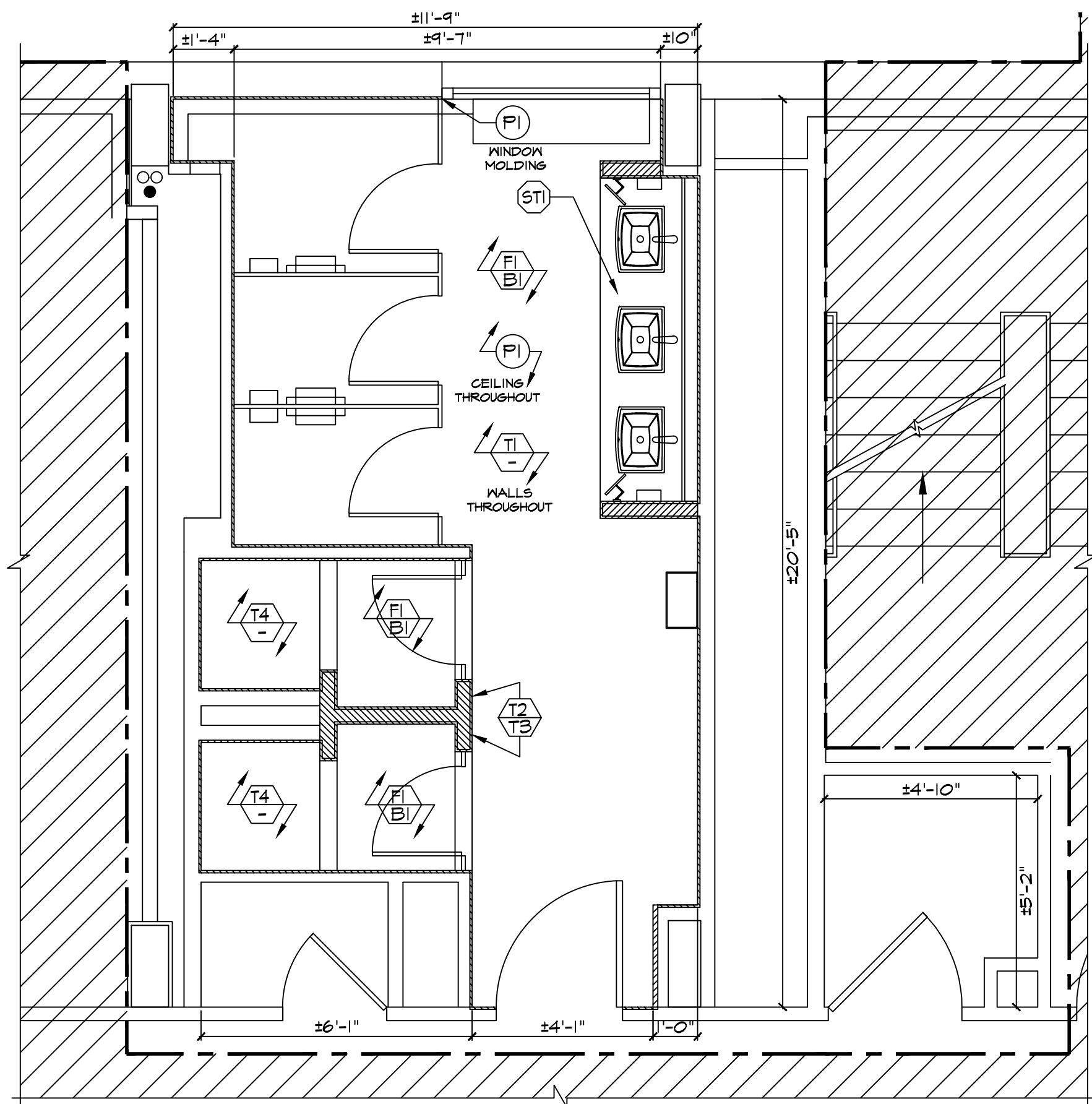
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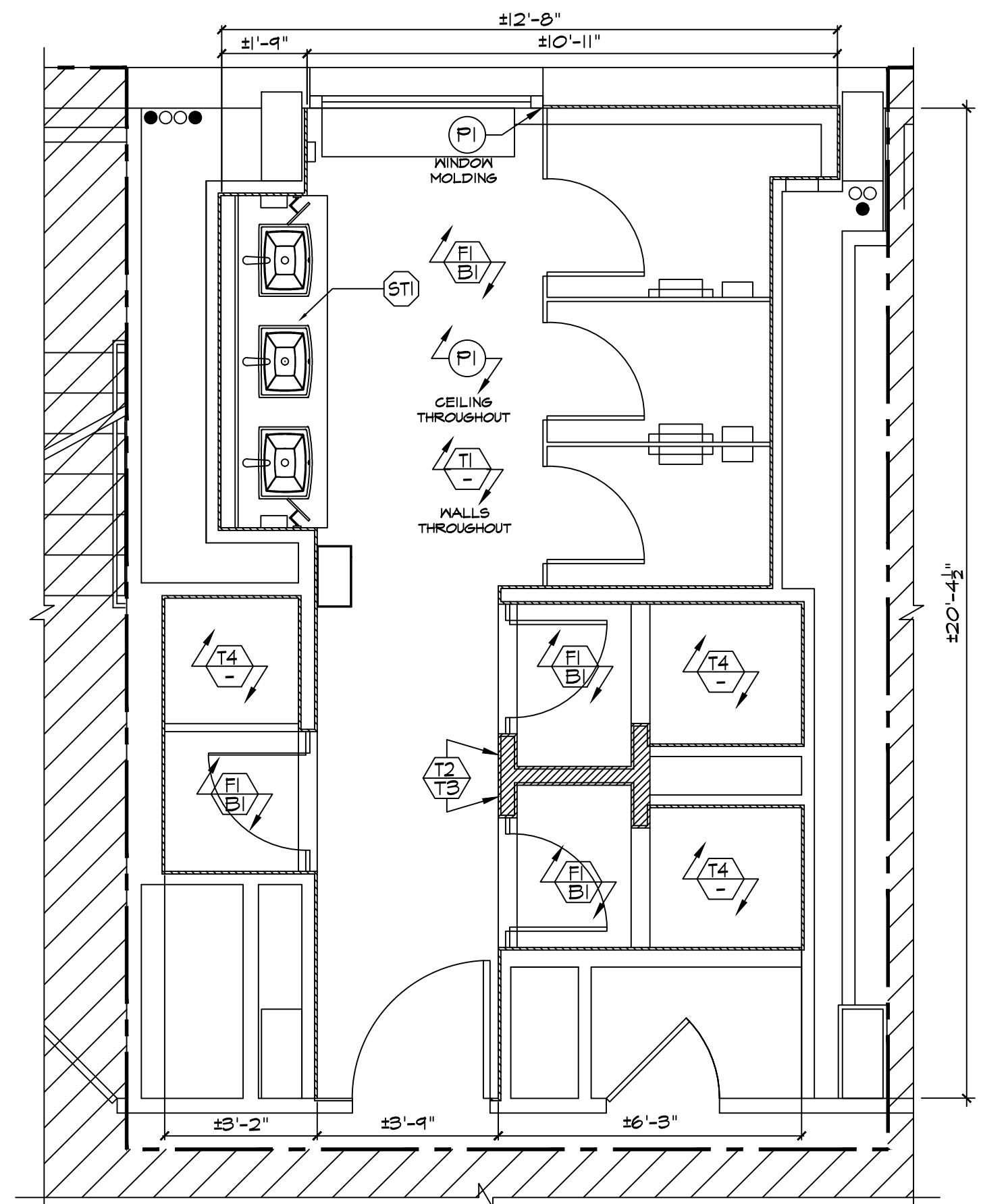
1 9TH FLOOR WEST FIXTURE PLAN
A-800 SCALE: 3/8" = 1'-0"



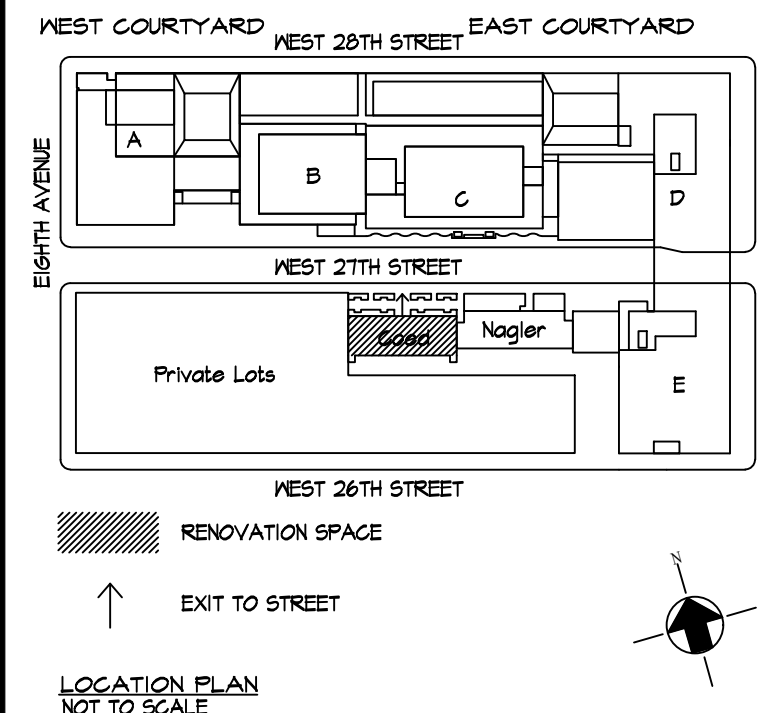
2 9TH FLOOR EAST FIXTURE PLAN
A-800 SCALE: 3/8" = 1'-0"



3 9TH FLOOR WEST FINISH PLAN
A-800 SCALE: 3/8" = 1'-0"



4 9TH FLOOR EAST FINISH PLAN
A-800 SCALE: 3/8" = 1'-0"



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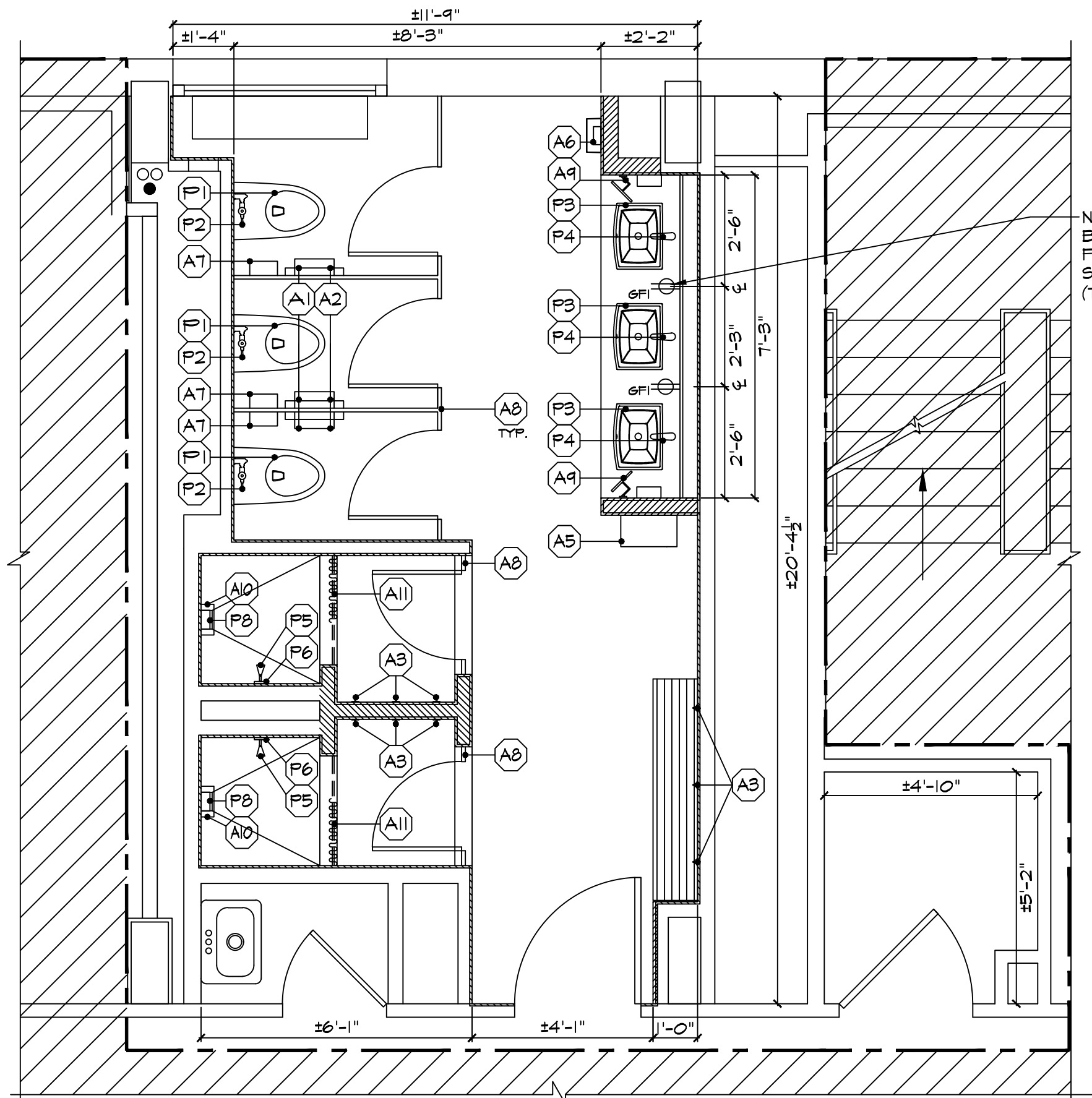
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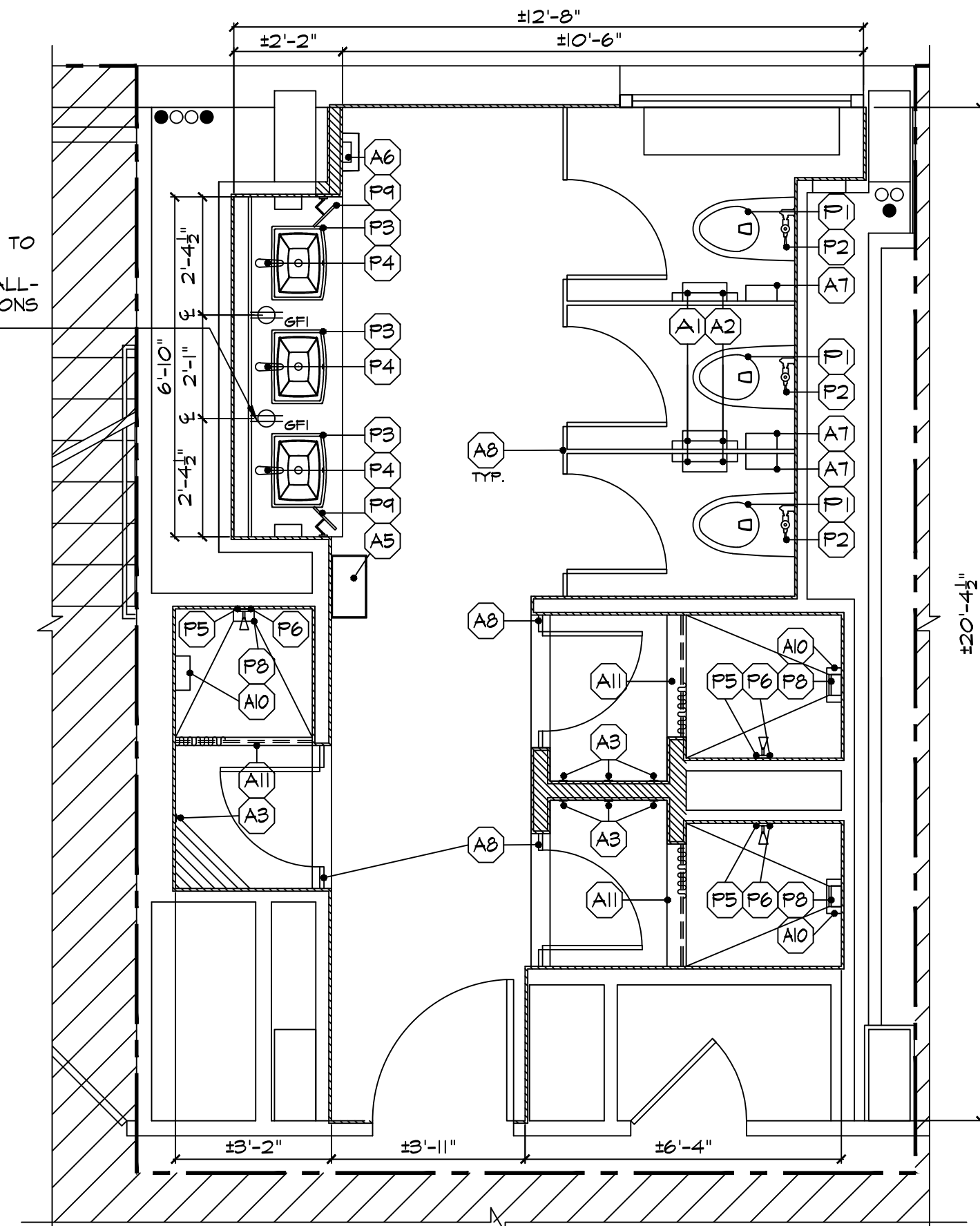
PROJECT:
CO-ED RESIDENCE HALL BATHROOM
RENOVATIONS - 9TH-10TH FLOORS
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DRAWING TITLE:
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9TH FLOOR

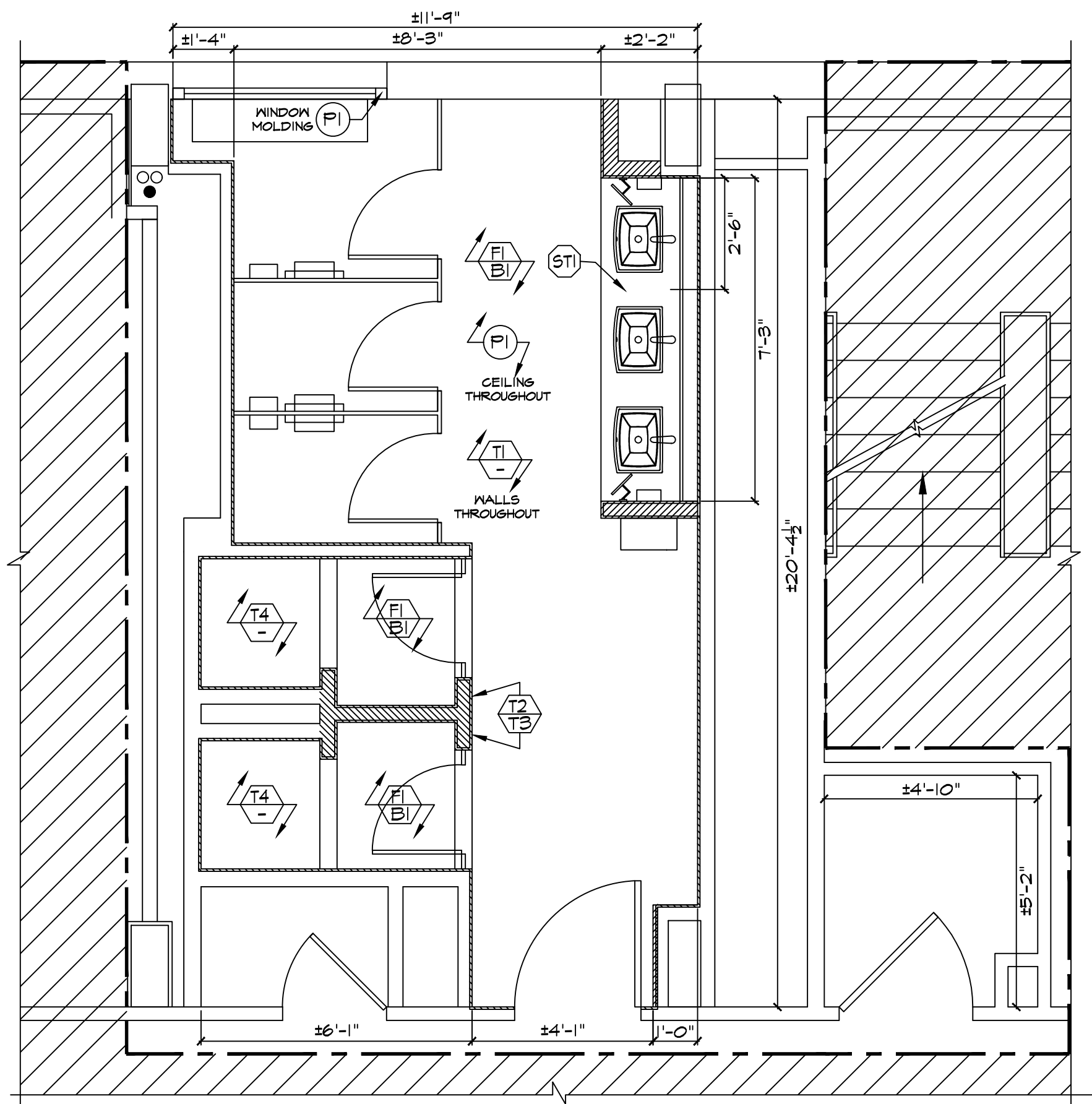
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DWG No:
A-800.00
SCALE: AS NOTED 14 of 16



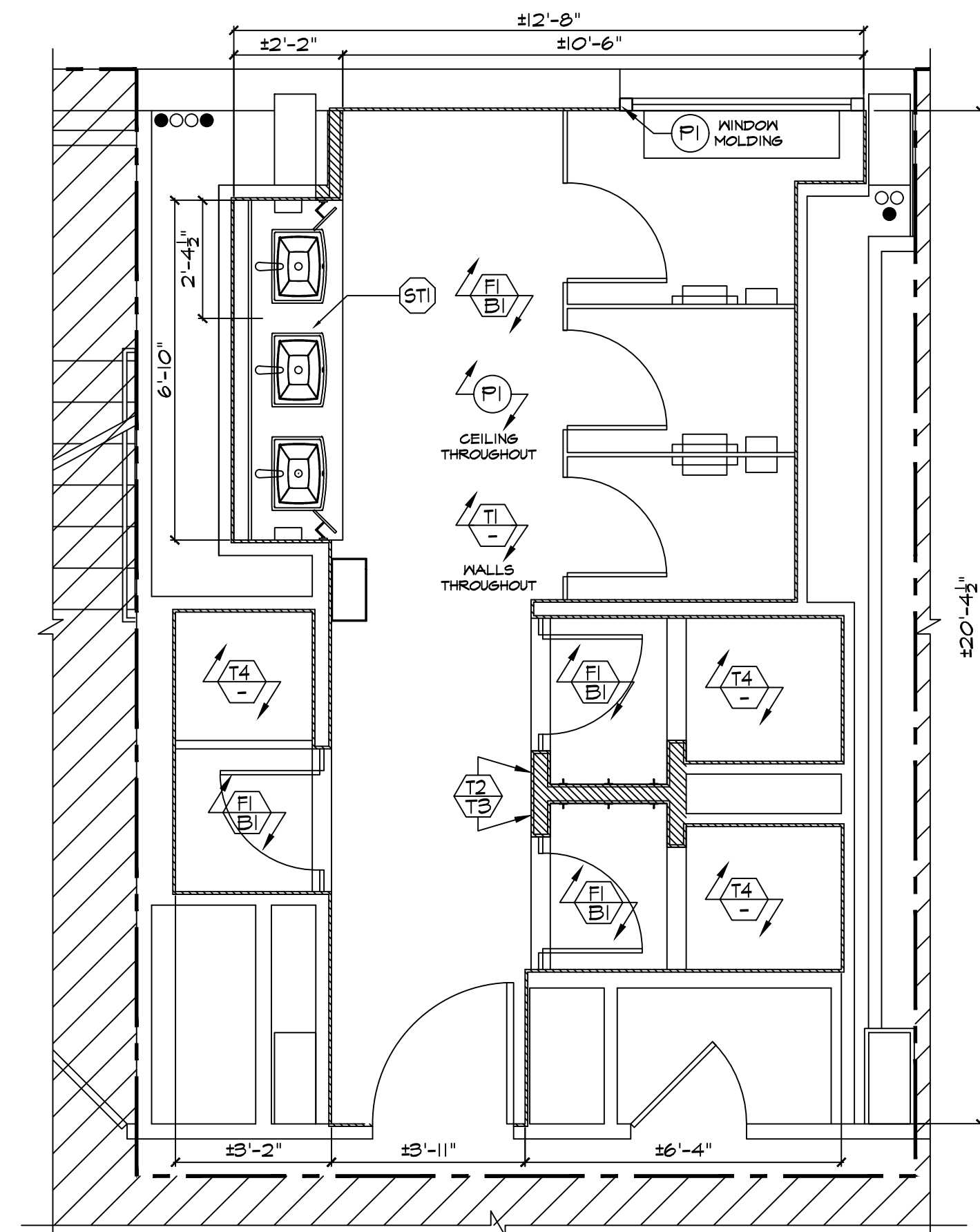
1 10TH FLOOR WEST FIXTURE PLAN
A-801 SCALE: 3/8" = 1'-0"



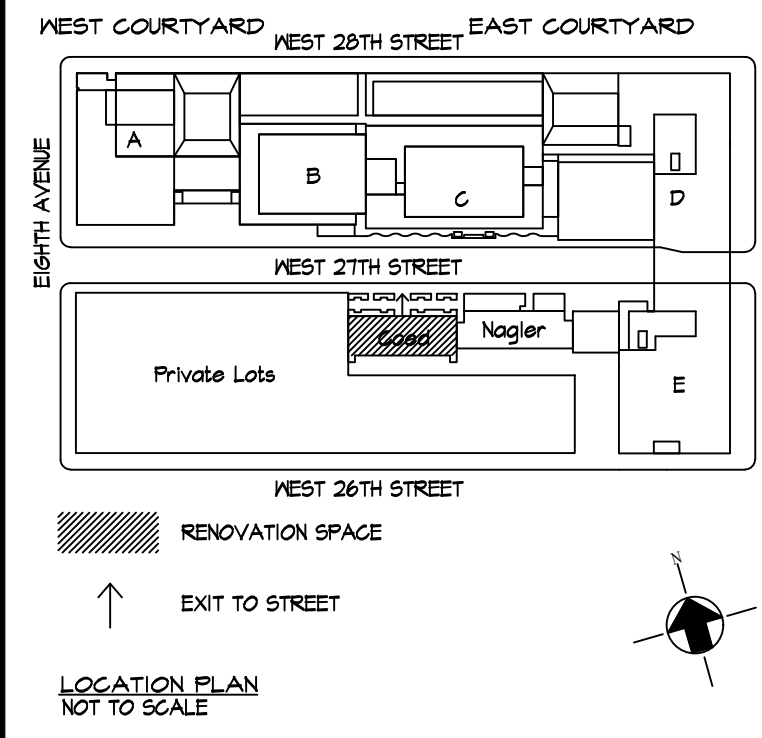
2 10TH FLOOR EAST FIXTURE PLAN
A-801 SCALE: 3/8" = 1'-0"



3 10TH FLOOR WEST FINISH PLAN
A-801 SCALE: 3/8" = 1'-0"



4 10TH FLOOR EAST FINISH PLAN
A-801 SCALE: 3/8" = 1'-0"



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DRAWING TITLE:
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10TH FLOOR

SEAL & SIGNATURE: DATE: 03.15.2022
PROJECT No: 13284.110
DRAWING BY: AP&TM&LX
CHK BY: GS
DWG No:
A-801.00
SCALE: AS NOTED 15 of 16

Finish Schedule

RM. NO.	SPACE DESCRIPTION	FLOOR		WALLS		CEILING		REMARKS	
		MATERIAL	BASE	MATERIAL	FIN	MATERIAL	FIN		
4TH FLOOR EAST	GENDER INCLUSIVE BATHROOM	FI, T4	BI	CEMENT BOARD, WATER RESIST. GYP.	T1,T2,T3	EXPOSED	P-1	8'-0"	SEE FINISH PLAN & ELEVATIONS FOR COMPLETE INFORMATION
4TH FLOOR WEST	GENDER INCLUSIVE BATHROOM	FI, T4	BI	CEMENT BOARD, WATER RESIST. GYP.	T1,T2,T3	EXPOSED	P-1	8'-0"	SEE FINISH PLAN & ELEVATIONS FOR COMPLETE INFORMATION
10TH FLOOR EAST	GENDER INCLUSIVE BATHROOM	FI, T4	BI	CEMENT BOARD, WATER RESIST. GYP.	T1,T2,T3	EXPOSED	P-1	8'-0"	SEE FINISH PLAN & ELEVATIONS FOR COMPLETE INFORMATION
10TH FLOOR WEST	GENDER INCLUSIVE BATHROOM	FI, T4	BI	CEMENT BOARD, WATER RESIST. GYP.	T1,T2,T3	EXPOSED	P-1	8'-0"	SEE FINISH PLAN & ELEVATIONS FOR COMPLETE INFORMATION

Finish Legend

PAINT	TILE
(PI) MFR: BENJAMIN MOORE NO. CC-20 COLOR: DECORATORS WHITE FINISH: SEMI-GLOSS	(T1) MFR: DALTILE COLLECTION: VOLUME 1.0 COLOR: DEGREES SILVER VLT NOTES: MAIN WALL TILE SIZE: 12"x12"
(FI) MFR: DEK-O-TEX COLLECTION: DECORFLOR BROADCAST COLOR: DFB-B-06 NOTES: USE FOR FI & BI THROUGHOUT	(T2) MFR: DALTILE COLLECTION: COLOR WAVE GLASS COLOR: NINE IRON GW9 NOTES: WALL ACCENT TILE SIZE: 1"x6" MOSAIC
(BI) MFR: DALTILE COLLECTION: COLOR WAVE GLASS COLOR: SMOKED PEARL GW17 NOTES: WALL ACCENT TILE SIZE: 1"x6" MOSAIC	(T3) MFR: DALTILE COLLECTION: COLOR WAVE GLASS COLOR: SMOKED PEARL GW17 NOTES: SHOWER FLOOR TILE PROVIDE BUILD UP PLACE AS INDICATED IN DRAWINGS SIZE: 2"x2" MOSAIC
(ST) MFR: CORIAN DESIGN COLLECTION: SOLID SURFACE COLOR: GRAY ONYX	(T4) MFR: DALTILE COLLECTION: KEYSTONES MOSAIC COLOR: SWEEP GRAY D182 NOTES: SHOWER FLOOR TILE PROVIDE BUILD UP PLACE AS INDICATED IN DRAWINGS SIZE: 2"x2" MOSAIC

ACCESSORIES SCHEDULE

ITEM NO.	QTY.	MANUFACTURER	MODEL NO.
(A1)	12	TOILET PAPER DISPENSER-BOBRICK	B-2890
(A2)	12	SEAT COVER DISPENSER-BOBRICK	B-221
(A3)	32	ROBE HOOK-KOHLER	K-31055
(A5)	4	WASTE RECEPTACLE-BOBRICK	B-211
(A6)	4	HAND DRYER-DYSON	AIRBLADE V HJ02
(A7)	12	SANITARY NAPKIN DISPOSAL-BOBRICK	B-210
(A8)	-	TOILET PARTITION-SCRANTON PRODUCTS-ARIA TRADITIONAL STYLE	STAINLESS HDPE
(A9)	8	HINGED WALL MIRROR-KIMBALL & YOUNG	24043
(A10)	10	SOAP DISH-A&J WASHROOM ACCESSORIES	UX119
(A11)	10	SHOWER ROD-BRADLEY	9539

- NOTES:
 1. SUPPLY & INSTALL ACCESSORIES AS LISTED ABOVE OR APPROVED EQUAL.
 2. WHERE ACCESSORIES ARE INSTALLED ON GYP BOARD WALLS PROVIDE ADDITIONAL PLATE BETWEEN STUDS FOR ATTACHMENT.
 3. SEE PLUMBING DRAWINGS FOR ADDITIONAL INFORMATION.

LIGHTING FIXTURE SCHEDULE

TYPE	FIXTURE DESCRIPTION	MANUFACTURER	LIGHT FIXTURE QUANT.	TOTAL WATTS/FIXTURE	LAMP TYPE	TOTAL WATTS	VOLTAGE	CONTROL	MTG HEIGHT	COMMENTS
A1	CORONET SUSPENDED LSI LED FIXTURE, 3500K, 90CRI / 8FT	CORONET LSI LED-8-35-LT61-UNV-DB-W-AC-SD	8	58	LED 3500K	464	UNV	0-10V DIM	VARIES, SEE PLAN	DAMP LOCATION LISTED
A2	MODERN FORMS MINIYOUSE VANITY/SCONGE LED FIXTURE, 1318 LED LUMENS / 18"	MS-21118 BN	12	16	LED 3000K	192	UNV	0-10V DIM	VARIES, SEE PLAN	DAMP LOCATION LISTED
A3	BEVELED BLOCK SURFACE-BLSD5 SQUARE DOWNLIGHT, 3500K, 90CRI / 5"x5"	BEVELED BLSD5-12C3-35KH-90-5-WH-SJ-UNV	10	12	LED 3500K	120	UNV	0-10V DIM	VARIES, SEE PLAN	WET LOCATION LISTED
A4	CORONET SURFACE MOUNT HP LED, 3500K, 90CRI, 2FT	CORONET HP LED-2-35-LT61-UNV-DB-W-SM/MM	12	14.5	LED 3500K	174	UNV	0-10V DIM	VARIES, SEE PLAN	DAMP LOCATION LISTED
A5	CORONET SURFACE MOUNT HP LED, 3500K, 90CRI, 4FT	CORONET HP LED-4-35-LT61-UNV-DB-W-SM/MM	4	24	LED 3500K	116	UNV	0-10V DIM	VARIES, SEE PLAN	DAMP LOCATION LISTED

PLUMBING FIXTURE SCHEDULE

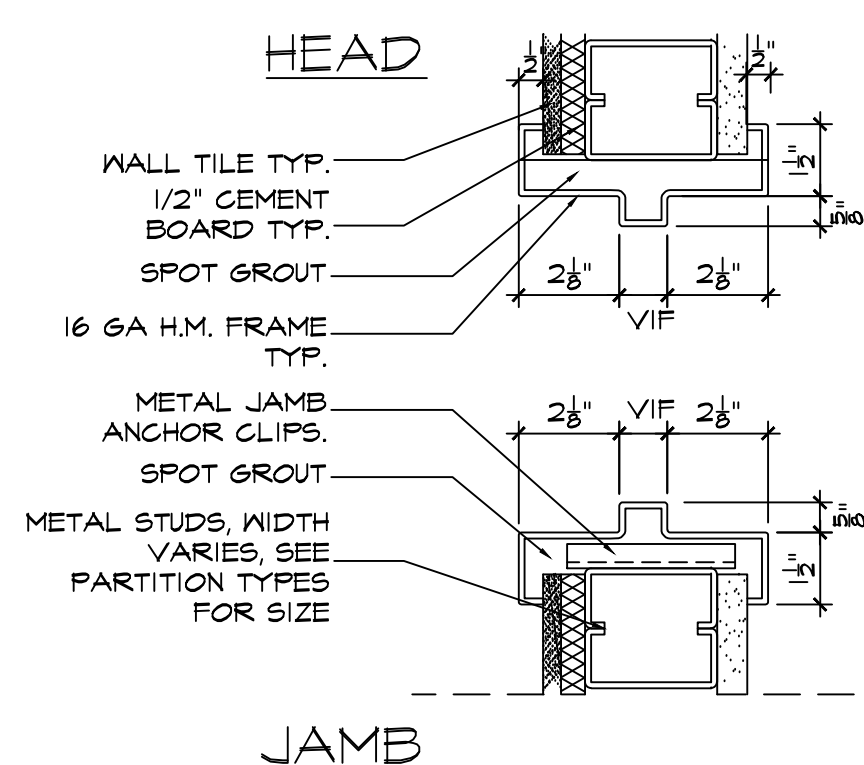
ITEM NO.	DESCRIPTION	QTY.	MANUFACTURER	MODEL NO.
(P1)	TOILET	12	SLOAN	WETS-24501320
(P2)	FLUSHOMETER	12	SLOAN	SLOAN III ESS
(P3)	LAVATORY	12	KOHLER	ARCHER K-2955
(P4)	FAUCET	12	AMERICAN STANDARD	SEVA 1480.101
(P5)	SHOWER HEAD/TRIM	10	KOHLER	PURIST K-TS14422-4
(P6)	SHOWER VALVE	10	KOHLER	RITE TEMP K-8304-K
(P7)	ADA PIPE COVER	12	TRUEBRO	LAV GUARD 2 EZ
(P8)	SCUPPER DRAIN	10	ZURN	Z189-90

- NOTES:
 1. ALL PLUMBING FIXTURES W/ AUTOMATIC SENSORS ARE TO BE HARDWIRED.

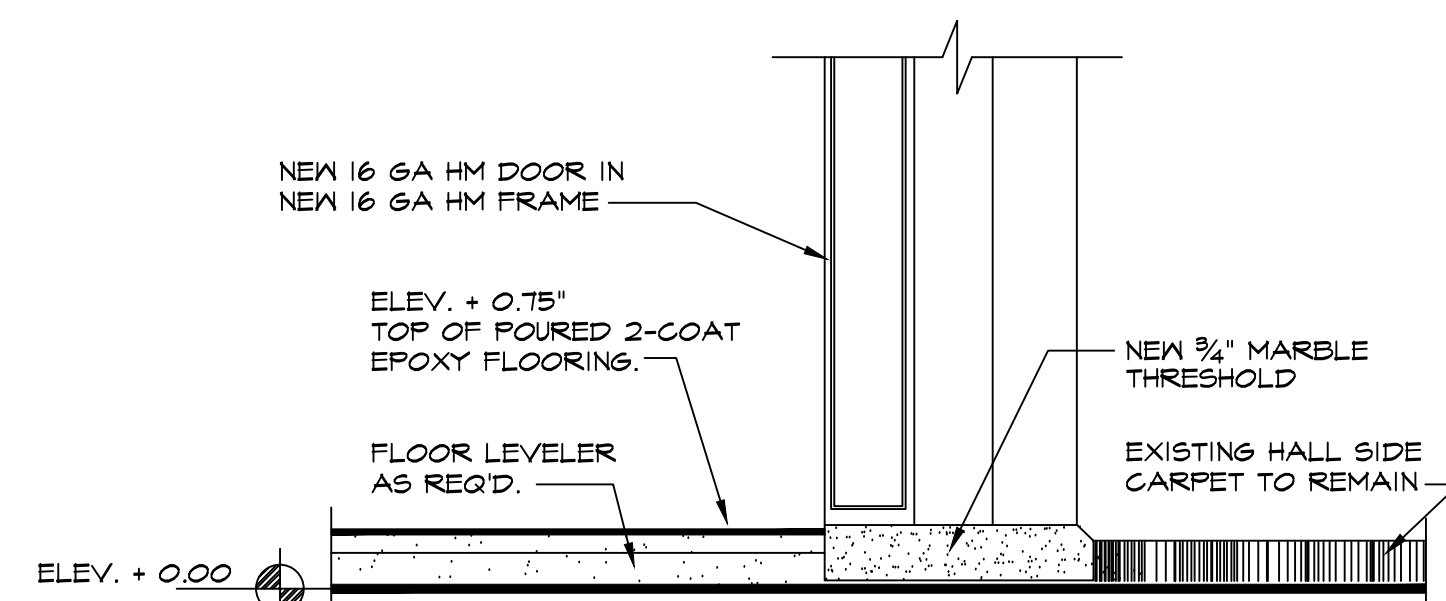
Door Schedule

#	DOOR		DOORS				FRAMES			LABEL	HARDWARE SET	REMARKS		
	FROM	TO	SIZE	THICK	MAT.	TYPE	MAT.	TYPE	JAMB				HEAD	SADDLE
1	CORRIDOR	4TH FLOOR WEST	2'-10"x7'-10"	1 3/4"	H.M. / 166A	I	H.M. / 166A	I	A	A	A	UL 45 MIN	I	MATCH EXISTING DOOR SIZE- VIF- PROVIDE 22"x16" FUSIBLE LINK LOUVER W/ UL 45MIN
2	CORRIDOR	4TH FLOOR EAST	2'-10"x7'-10"	1 3/4"	H.M. / 166A	I	H.M. / 166A	I	A	A	A	UL 45 MIN	I	MATCH EXISTING DOOR SIZE- VIF- PROVIDE 22"x16" FUSIBLE LINK LOUVER W/ UL 45MIN
3	CORRIDOR	10TH FLOOR WEST	2'-10"x6'-8"	1 3/4"	H.M. / 166A	I	H.M. / 166A	I	A	A	A	UL 45 MIN	I	MATCH EXISTING DOOR SIZE- VIF- PROVIDE 22"x16" FUSIBLE LINK LOUVER W/ UL 45MIN
4	CORRIDOR	10TH FLOOR EAST	2'-10"x6'-8"	1 3/4"	H.M. / 166A	I	H.M. / 166A	I	A	A	A	UL 45 MIN	I	MATCH EXISTING DOOR SIZE- VIF- PROVIDE 22"x16" FUSIBLE LINK LOUVER W/ UL 45MIN

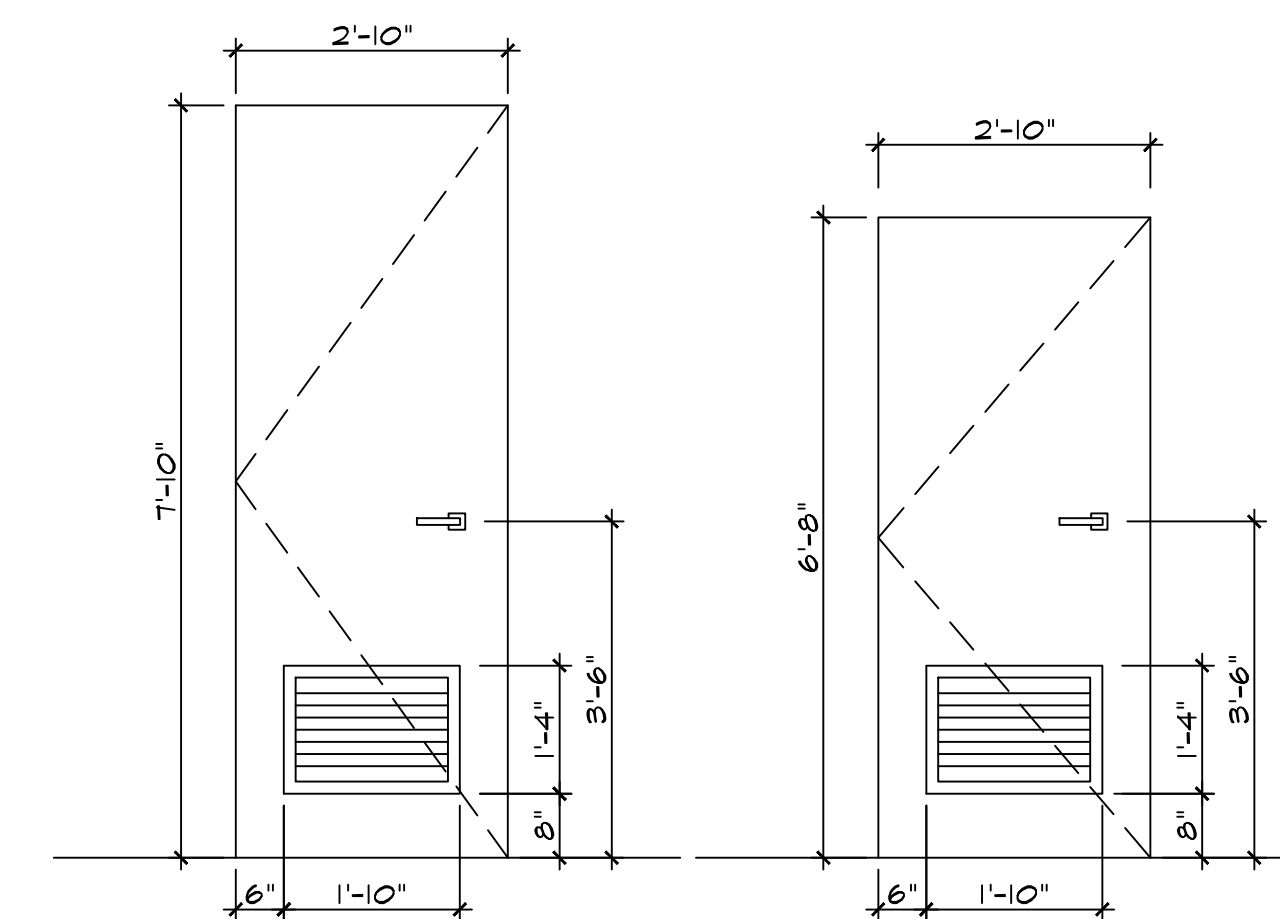
- NOTES:
 1. ALL DIMENSIONS ARE TO MATCH EXISTING DOORS TO BE REMOVED. VERIFY ALL DIMENSIONS IN FIELD PRIOR TO FABRICATION.
 2. HARDWARE SET, SEE SPECIFICATIONS 08 10 00 FOR DETAILS.



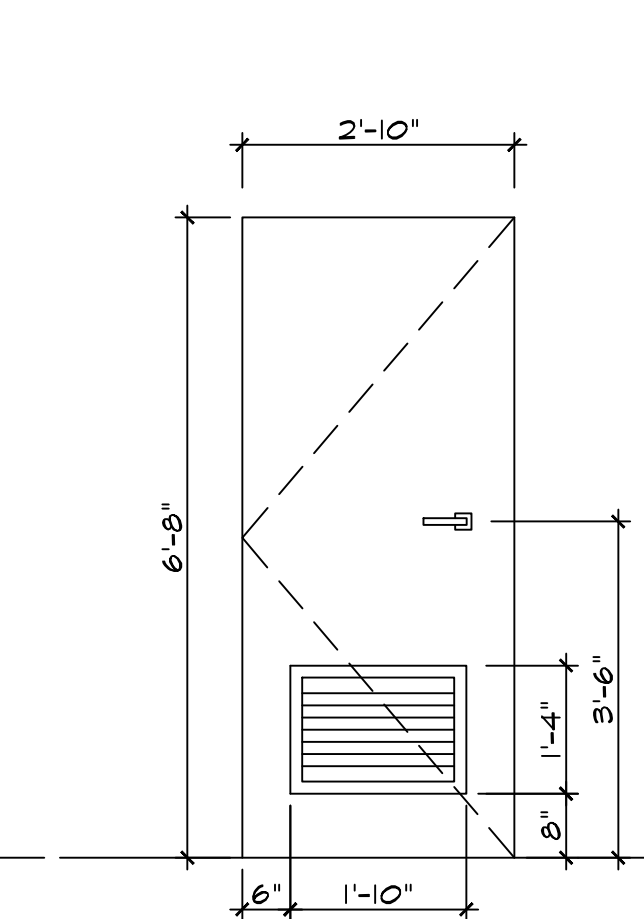
1 HEAD AND JAMB TYPE 'A' DETAILS
 A-802 SCALE: 3" = 1'-0"



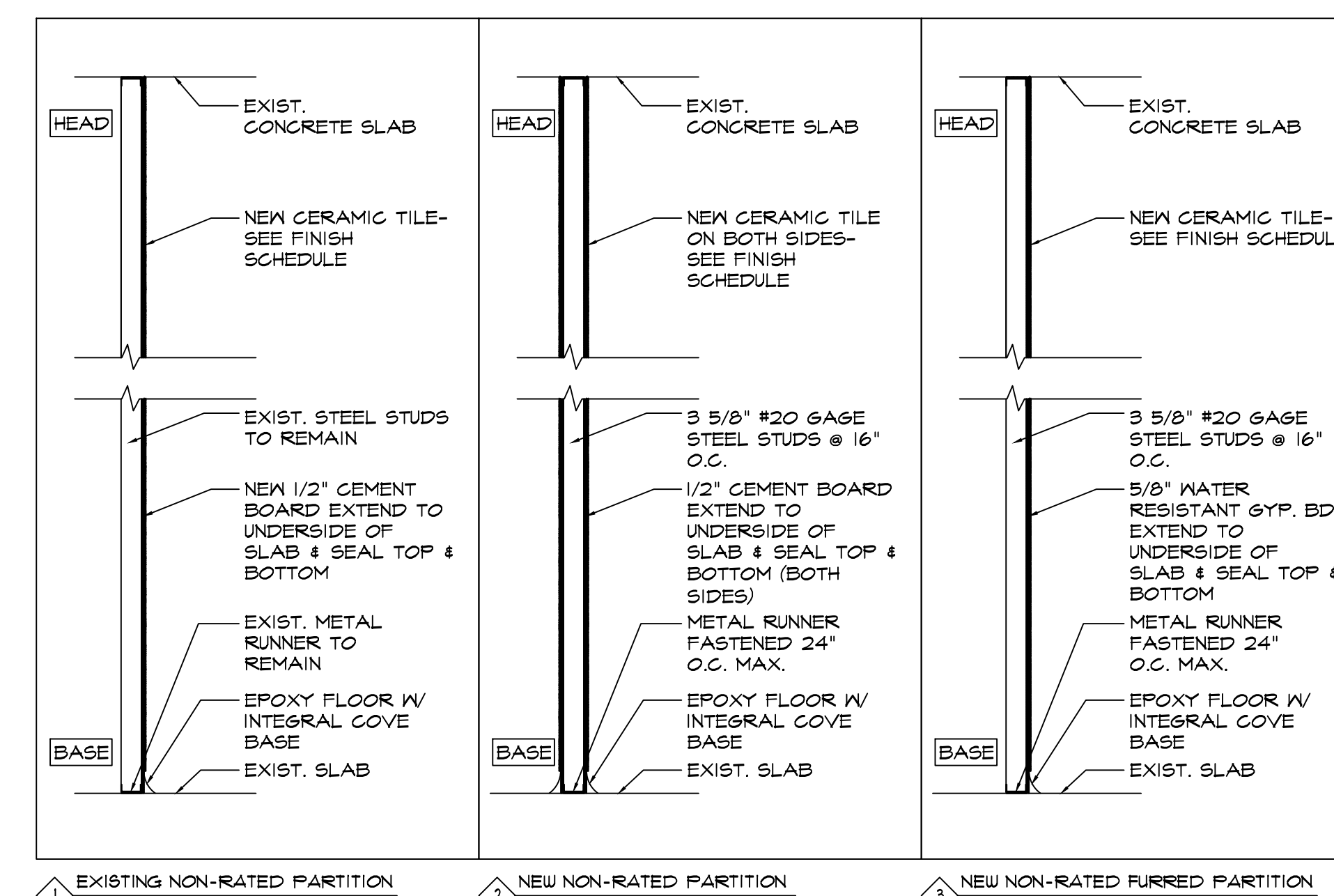
2 SADDLE TYPE 'A' DETAILS
 A-802 SCALE: 3" = 1'-0"



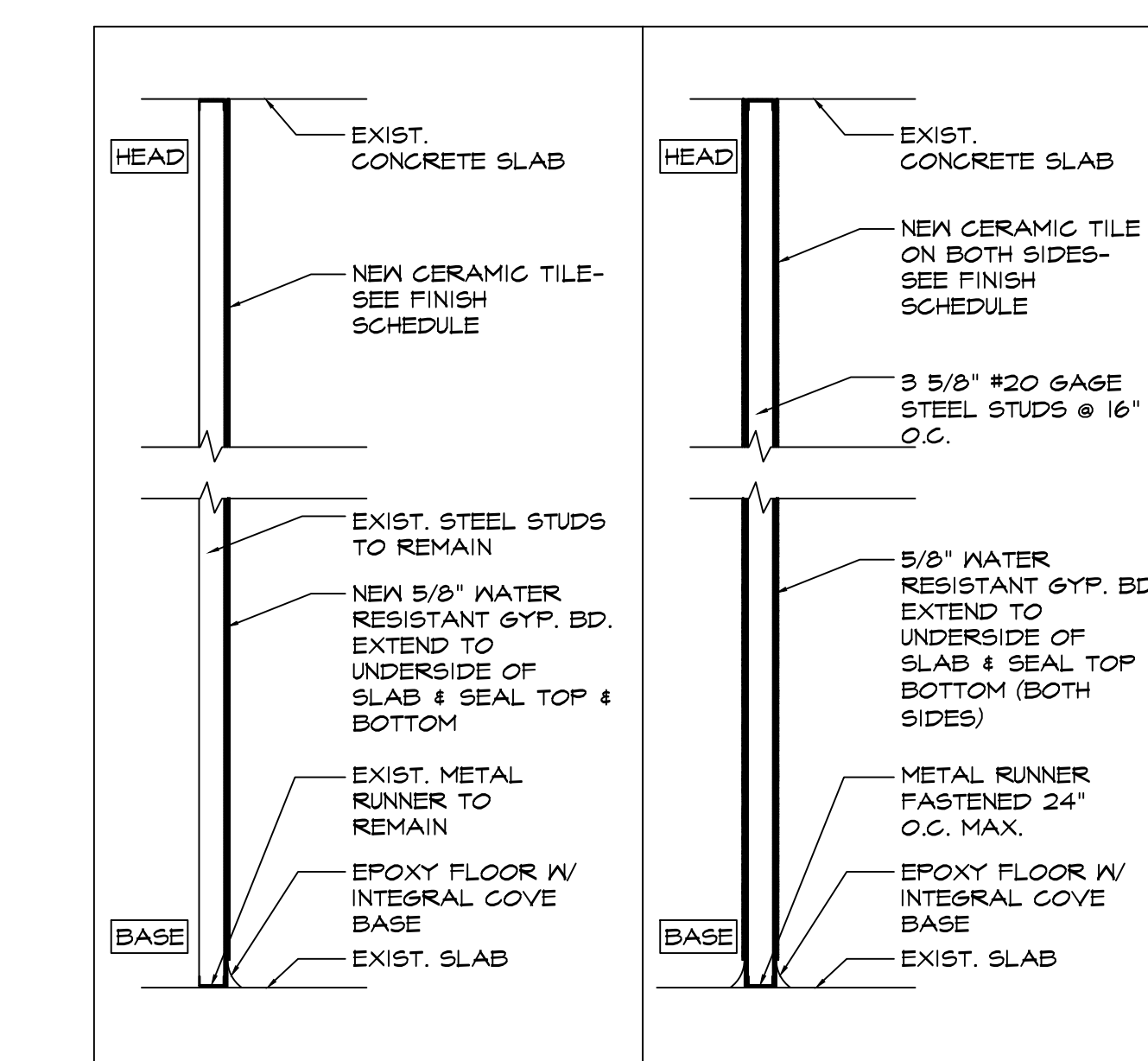
3 DOOR TYPE I ELEVATION
 A-802 SCALE: 1/2" = 1'-0"



4 DOOR TYPE II ELEVATION
 A-802 SCALE: 1/2" = 1'-0"



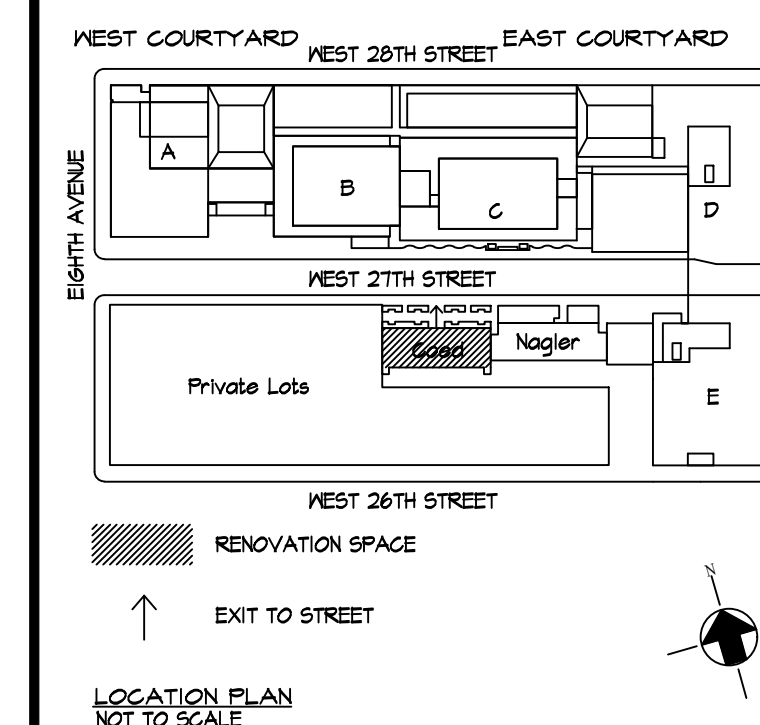
5 EXISTING NON-RATED PARTITION
 6 NEW NON-RATED PARTITION
 7 NEW NON-RATED FURRED PARTITION



8 EXISTING NON-RATED PARTITION
 9 NEW NON-RATED PARTITION

5 PARTITION SCHEDULE
 A-802 SCALE: 1/2" = 1'-0"

REV. NO. DATE REVISIONS



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PROJECT:
 CO-ED RESIDENCE HALL BATHROOM RENOVATIONS - 4TH-10TH FLOORS
 230 WEST 27TH ST
 NEW YORK NY 10001

DRAWING TITLE:
SCHEDULES

DATE: 09.15.2022
 PROJECT No: 13284.110
 DRAWING BY: AP&TM&LX
 CHK BY: GS
 DWG No:
A-802.00
 SCALE AS NOTED 16 of 16

SYMBOL LIST AND ABBREVIATIONS		
ABBREV.	SYMBOL	DESCRIPTIONS
(E)		EXISTING WORK TO REMAIN
		NEW WORK
		EXISTING WORK TO BE REMOVED
		RETURN OR EXHAUST DUCT DOWN
		RETURN OR EXHAUST DUCT UP
		RETURN AIR
VD		VOLUME DAMPER
TR		RETURN TOP REGISTER 300 CFM
		CONNECT NEW TO EXISTING WORK
		BE RECONNECTED POINT OF DISCONNECTION. CAP IF NOT TO
(300)		300 CUBIC FEET OF AIR PER MINUTE
ABV		ABOVE
AD		ACCESS DOOR
AFF		ABOVE FINISHED FLOOR
BOD		BOTTOM OF DUCT
BTU		BRITISH THERMAL UNIT
CFM, \dot{Q}		CUBIC FEET PER MINUTE
DET		DETAIL
DN		DOWN
DWG		DRAWING
EA		EXHAUST AIR
ELEV		ELEVATION
EXH		EXHAUST
FPM		FEET PER MINUTE
FT		FEET
MAX		MAXIMUM
MECH		MECHANICAL
MER		MECHANICAL EQUIPMENT ROOM
MIN		MINIMUM
NIC		NOT IN CONTRACT
RPM		REVOLUTION PER MINUTE
(N)		NEW
(E)		EXISTING

SCOPE OF WORK NOTES:

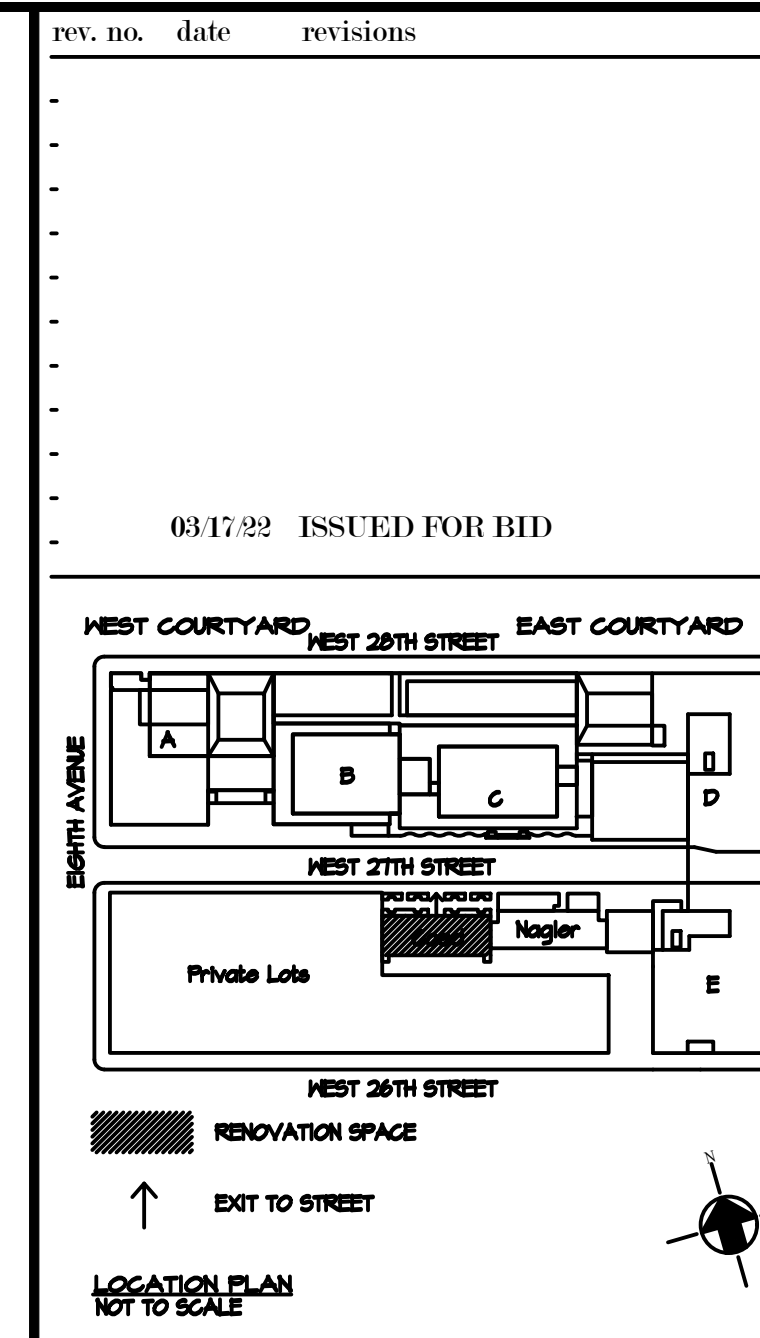
- PRIOR TO START DEMOLITION WORK, THE CONTRACTOR SHALL PERFORM AIR FLOW MEASUREMENT ON THE FOLLOWINGS:
- MEASURE THE EXHAUST AIR FLOW ON EVERY BATHROOM ON 9TH AND 10TH FLOOR INCLUDED IN THIS SCOPE OF WORK;
 - MEASURE ON TOILETS EXHAUST FAN E-2 AND AND E-8 THE TOTAL AIR FLOW, THE SUCTION PRESSURE, THE FAN RPM, THE MOTOR RPM, THE VOLTAGE AND THE AMPS.
 - SUBMIT THE AIR TESTING REPORT TO THE ARCHITECT/ENGINEER FOR REVIEW/APPROVAL. DO NOT START DEMOLITION WORK OF THE EXHAUST DIFFUSER PRIOR TO RECEIVE APPROVAL FROM THE ENGINEER.
 - CONTRACTOR TO INCLUDE IN THIS BID THE PULLEY REPLACEMENT TO INCREASE THE FAN SPEED UP TO 50% FOR E-2 AND E-8 LOCATED ON THE ROOF.
 - AFTER THE EXHAUST GRILLES AND PULLEY REPLACEMENT IS COMPLETED, THE CONTRACTOR SHALL REPEAT THE AIR FLOW MEASUREMENT AS NOTED IN ITEM 1) AND 2). SUBMIT AIR TESTING REPORT FOR REVIEW AND APPROVAL.

GENERAL DEMOLITION NOTES

- DEMOLITION OF HVAC ITEMS SHALL BE PERFORMED UNDER THE HVAC CONTRACT.
- LOCATION OF THE EXISTING DUCTWORK AS SHOWN ON DRAWINGS IS APPROXIMATE.
- PROVIDE TEMPORARY SUPPORTS WHERE REQUIRED.
- DURING DEMOLITION, PROPERLY CAP AND PROTECT ALL DUCTWORK, AND EQUIPMENT, THAT WILL REMAIN IN OPERATION.
- WHERE EXISTING INSULATION TO REMAIN IS DAMAGED BY THE REQUIREMENTS OF THE WORK, REPLACE ANY DAMAGED INSULATION TO MATCH EXISTING.
- DEMOLISH ALL EQUIPMENT AS INDICATED, FIXTURES AND/OR MISCELLANEOUS ARTICLES IN THEIR ENTIRETY INCLUDING AUXILIARY EQUIPMENT, PIPING, WIRING, CONDUIT AND DUCTWORK.
- MATERIALS RESULTING FROM THE DEMOLITION OPERATIONS SHALL NOT BE ALLOWED TO ACCUMULATE ON THE FLOORS AND ROOF SURFACES, EXTERIOR GRADE SURFACES OR OTHER PARTS OF THE PREMISES, AND SHALL BE PROMPTLY REMOVED AND DISPOSED OF AWAY FROM THE PREMISES.
- INCLUDE ALL DEMOLITION OF SYSTEMS AND COMPONENTS WHERE SYSTEMS SHALL BE REPLACED BY NEW WORK. REFER TO THE DRAWINGS AND SPECIFICATIONS FOR THE SCOPE OF NEW AND RECONNECTED WORK. THE INTENT OF THIS REQUIREMENT IS TO HAVE THE CONTRACTOR DISCONNECT, DEMOLISH AND REMOVE ALL EXPOSED AND CONCEALED WORK WHERE BEING REPLACED OR CONNECTED TO THE NEW LAYOUTS.
- COORDINATE ELECTRICAL POWER DISCONNECTION PRIOR TO DEMOLITION WITH ELECTRICAL CONTRACTOR.
- PROTECT ALL HVAC WORK AND WORK OF OTHER TRADES WHICH IS TO REMAIN, FROM DAMAGE DURING DEMOLITION.
- ALL DUCTWORK TO REMAIN SHALL HAVE ENDS TERMINATED IN A NEAT MANNER READY FOR CONNECTION OF NEW WORK. ALL EXPOSED ENDS DUCTWORK SHALL BE CAPPED. DUCTWORK SHALL BE CAPPED WITH SHEET METAL CONNECTED TO THE DUCT TO REMAIN.
- REMOVAL OF EQUIPMENT, DUCTWORK SHALL INCLUDE ALL HANGERS & SUPPORT ASSOCIATED WITH THE EQUIPMENT, PIPING AND DUCTWORK TO BE REMOVED.

GENERAL NOTES:

- ALL DUCTWORK SHALL BE SUSPENDED FROM BUILDING STRUCTURE ONLY, EXCEPT AS SPECIFICALLY ALLOWED IN THE SPECIFICATIONS. HVAC CONTRACTOR SHALL PROVIDE SUPPLEMENTARY STEEL AS NECESSARY TO SUPPORT PIPES AND DUCTS FROM BUILDING STRUCTURE. THE ARCHITECT AND STRUCTURAL ENGINEER SHALL BE THE SOLE DETERMINANT AS TO PERMISSIBILITY OF HANGING NEW WORK FROM BUILDING STRUCTURE AND SLABS.
- DUCTWORK PROVIDED UNDER THIS CONTRACT SHALL BE COORDINATED UNDER THIS CONTRACT WITH WORK BEING PROVIDED BY OTHER TRADES.
- FINAL LOCATION OF ALL C. RETURN REGISTERS AND CEILING GRILLES SHALL BE AS SHOWN ON THE ARCHITECTURAL DRAWINGS. QUANTITIES OF THESE DEVICES SHALL BE PROVIDED AS SHOWN ON THE HVAC DRAWINGS. ANY DISCREPANCIES BETWEEN THE HVAC C DRAWINGS AND THE ARCHITECTURAL DRAWINGS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT FOR RESOLUTION PRIOR TO BID.
- WHILE THE DRAWINGS SHALL BE ADHERED TO AS CLOSELY AS POSSIBLE, THE ARCHITECT'S RIGHT IS RESERVED TO VARY THE RUN AND SIZE OF DUCTS DURING THE PROGRESS OF THE WORK IF REQUIRED TO MEET CEILING HEIGHTS, TO MEET STRUCTURAL AND FIELD CONDITIONS. CONTRACTOR SHALL PROVIDE REDRAWING OF SHOP DRAWINGS AS NECESSARY TO ACCOMMODATE THE ARCHITECT'S REQUIREMENTS, AT NO ADDITIONAL COST TO THE OWNER. REFER TO ARCHITECTURAL REFLECTED CEILING PLANS FOR REQUIRED CEILING HEIGHTS.
- INSTALL ALL DUCTWORK IN STRICT ADHERENCE TO THE CEILING HEIGHTS INDICATED ON THE ARCHITECT'S DRAWINGS. CONSULT WITH OTHER CONTRACTORS AND IN CONJUNCTION WITH THE OTHER CONTRACTORS, ESTABLISH THE NECESSARY SPACE REQUIREMENTS FOR EACH TRADE.
- THE SHEET METAL DUCTWORK SHALL, WHETHER INDICATED OR NOT, RISE AND/OR DROP AND/OR CHANGE IN SHAPE TO CLEAR ANY AND ALL OTHER DUCTWORK, CONDUITS, LIGHTING FIXTURES, PLUMBING AND HEATING/COOLING MAINS TO MAINTAIN THE DESIRED CEILING HEIGHTS AND TO PROVIDE ADEQUATE MAINTENANCE ROOM AND HEADROOM IN MECHANICAL EQUIPMENT ROOMS. THE DRAWINGS, IN GENERAL, DO NOT SHOW ALL RISES, DROPS AND DUCT TRANSITIONS REQUIRED. THE DRAWINGS SHOW GENERAL ROUTING REQUIREMENTS ONLY.
- ALL RECTANGULAR DUCTWORK, UNLESS OTHERWISE NOTED, SHALL BE BUILT FROM GALVANIZED SHEET STEEL AND THOROUGHLY BRACED AND STIFFENED. SEE SPECIFICATIONS FOR DUCTS REQUIRED TO BE FABRICATED OF ALUMINUM AND STAINLESS STEEL. ALL DUCTS WITH ROOMS WITH OPEN TANKS SHALL BE STAINLESS STEEL.
- PROVIDE 12" x 12" ACCESS DOORS EVERY 50'-0" RUN OF SUPPLY AND RETURN AIR DUCT FOR CLEANING PURPOSES, EXCEPT IN DUCT ABOVE SOUND CONTROL CEILING. PROVIDE 18" x 18" ACCESS DOORS UPSTREAM AND DOWNSTREAM OF EACH REHEAT COIL, AT EACH FIRE AND FIRE/SMOKE DAMPER, AT EACH MOTORIZED DAMPER, AT EACH CV AND VAV TERMINAL BOX AND WHEREVER ELSE INDICATED IN THE SPECIFICATION. IF THE DUCT IS TOO SMALL TO PROVIDE AN 18" x 18" ACCESS DOOR, A 12" x 12" ACCESS DOOR SHALL BE PROVIDED. SEE SPECIFICATIONS FOR ADDITIONAL ACCESS DOOR REQUIREMENTS.
- ALL BIDDERS ARE REQUIRED TO REFER TO ARCHITECTURAL DRAWINGS FOR LOCATIONS OF ALL MEP/FP COMPONENTS FOR FULL INTEGRATION INTO ARCHITECTURAL DESIGN. BIDDERS ARE TO IMMEDIATELY CALL TO THE ARCHITECT'S ATTENTION ANY DISCREPANCIES IN QUANTITIES, TYPES AND SCOPE FOR ALL DISCIPLINES/TRADES.
- SEE ARCHITECTURAL REFLECTED CEILING PLAN (RCP), DRAWINGS AND FLOOR PLANS FOR LOCATION OF ALL CEILING MOUNTED DEVICES. SEE ARCHITECTURAL DRAWINGS FOR LOCATION OF ALL WALL MOUNTED DEVICES.
- SYMBOLS AND ABBREVIATIONS SHOWN ON THE DRAWINGS ARE FOR MECHANICAL DRAWINGS ONLY. SEE ARCHITECTURAL DRAWING AND OTHER TRADES DRAWINGS FOR THEIR RESPECTIVE SYMBOLS AND ABBREVIATIONS.



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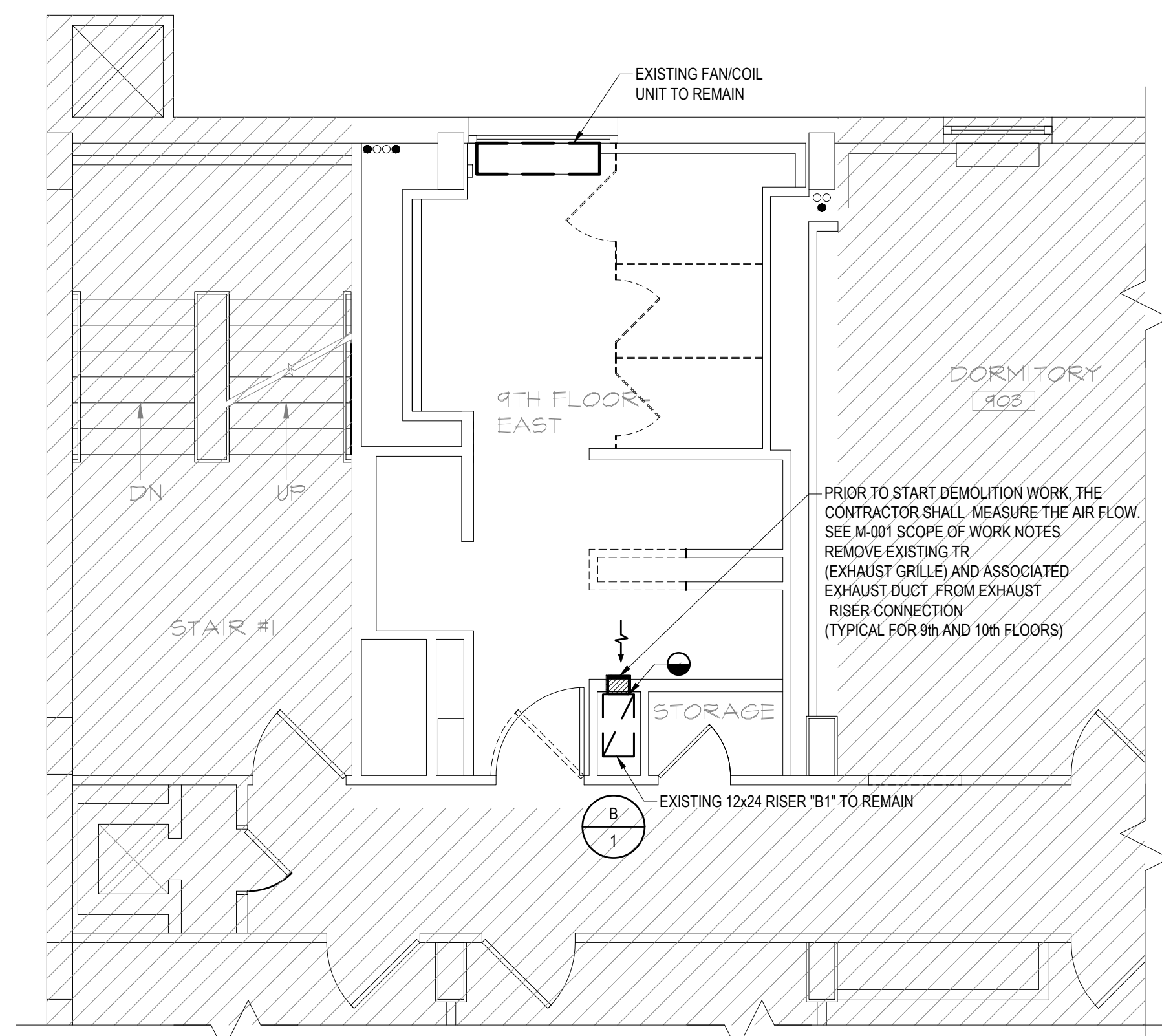
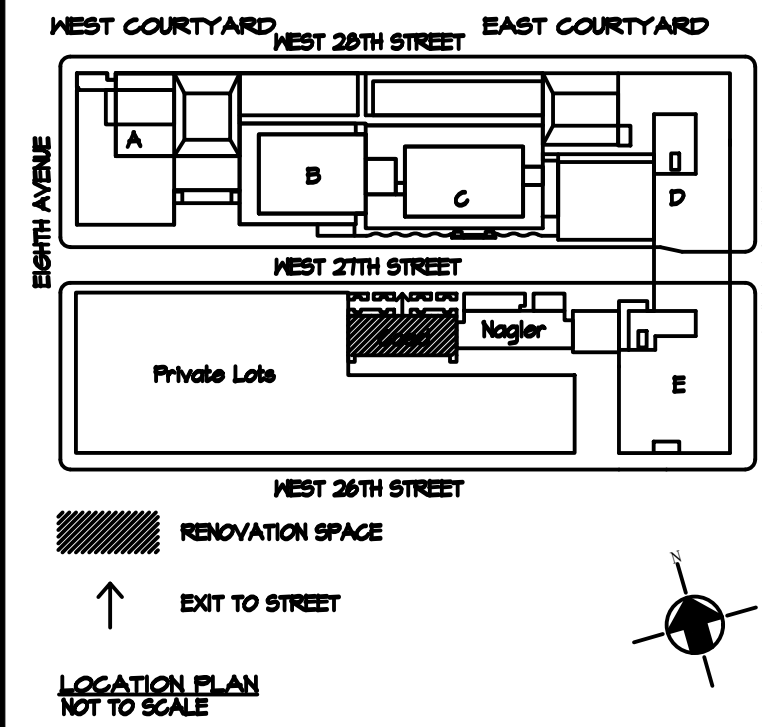
PROJECT:
CO-ED RESIDENCE HALL BATHROOM
RENOVATIONS - 9TH-10TH FLOORS
230 WEST 27TH ST
NEW YORK NY 10001

DRAWING TITLE:
SYMBOLS, ANNOTATIONS AND
GENERAL NOTES

SEAL & SIGNATURE:	DATE: 03.15.2022
	PROJECT No: 1522-4.110
	DRAWING BY: R.K.
	CHK BY: D.N.
	DWG No:
	M-001.00
SCALE AS NOTED	1 OF 3

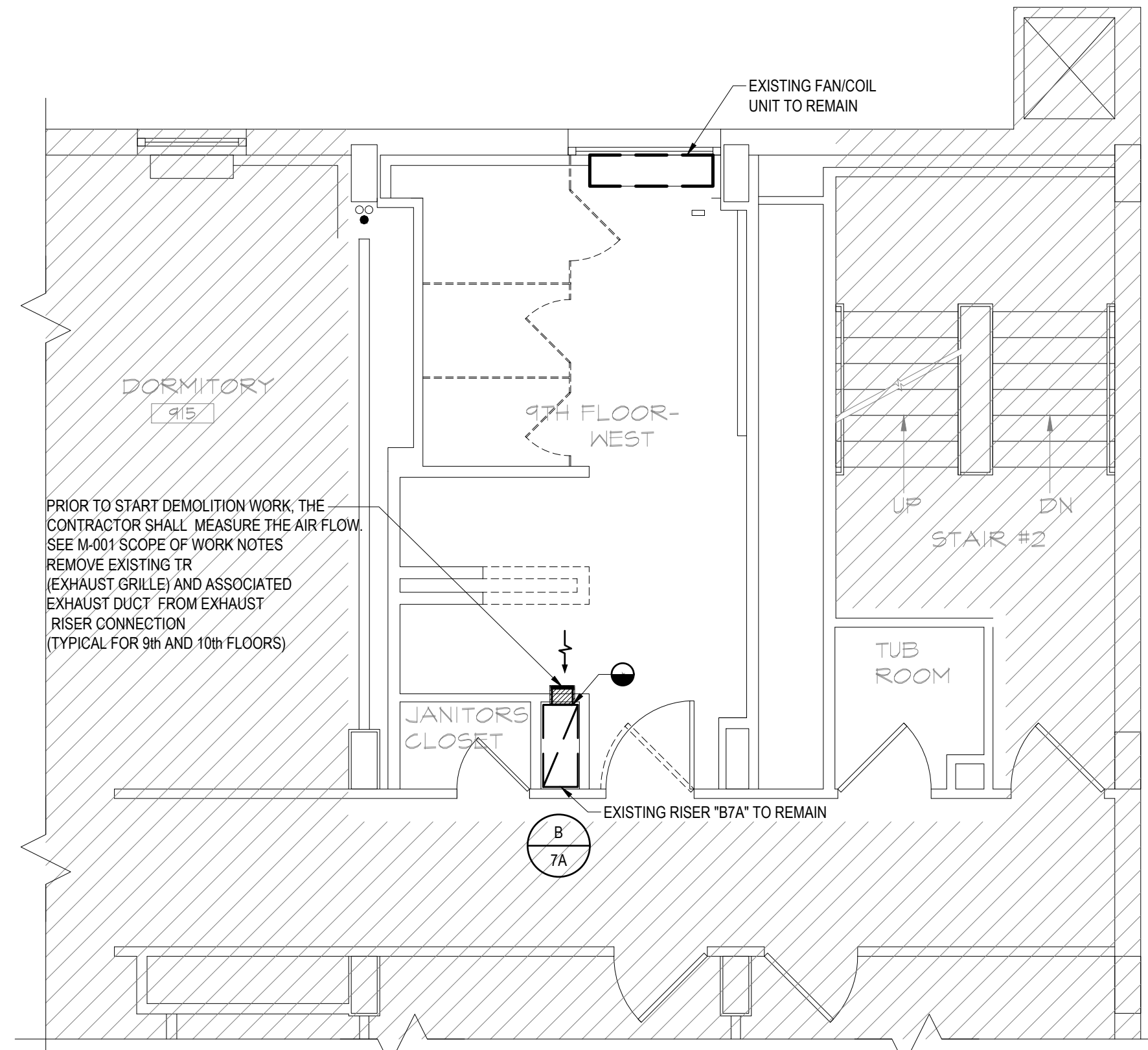
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03/17/22 ISSUED FOR BID



9TH FLOOR EAST MECHANICAL PART - DEMOLITION WORK

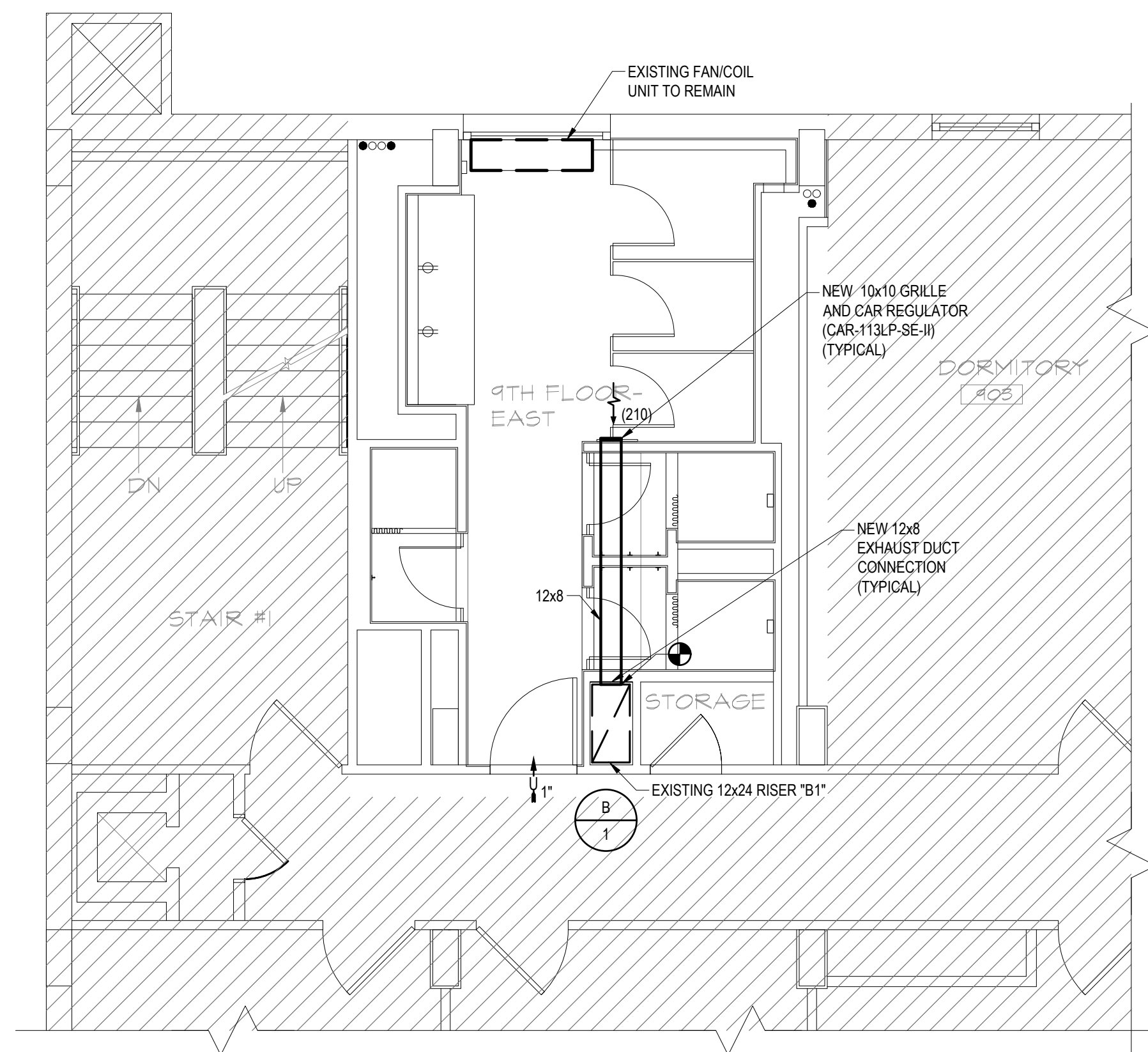
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9TH FLOOR WEST MECHANICAL PART - DEMOLITION WORK

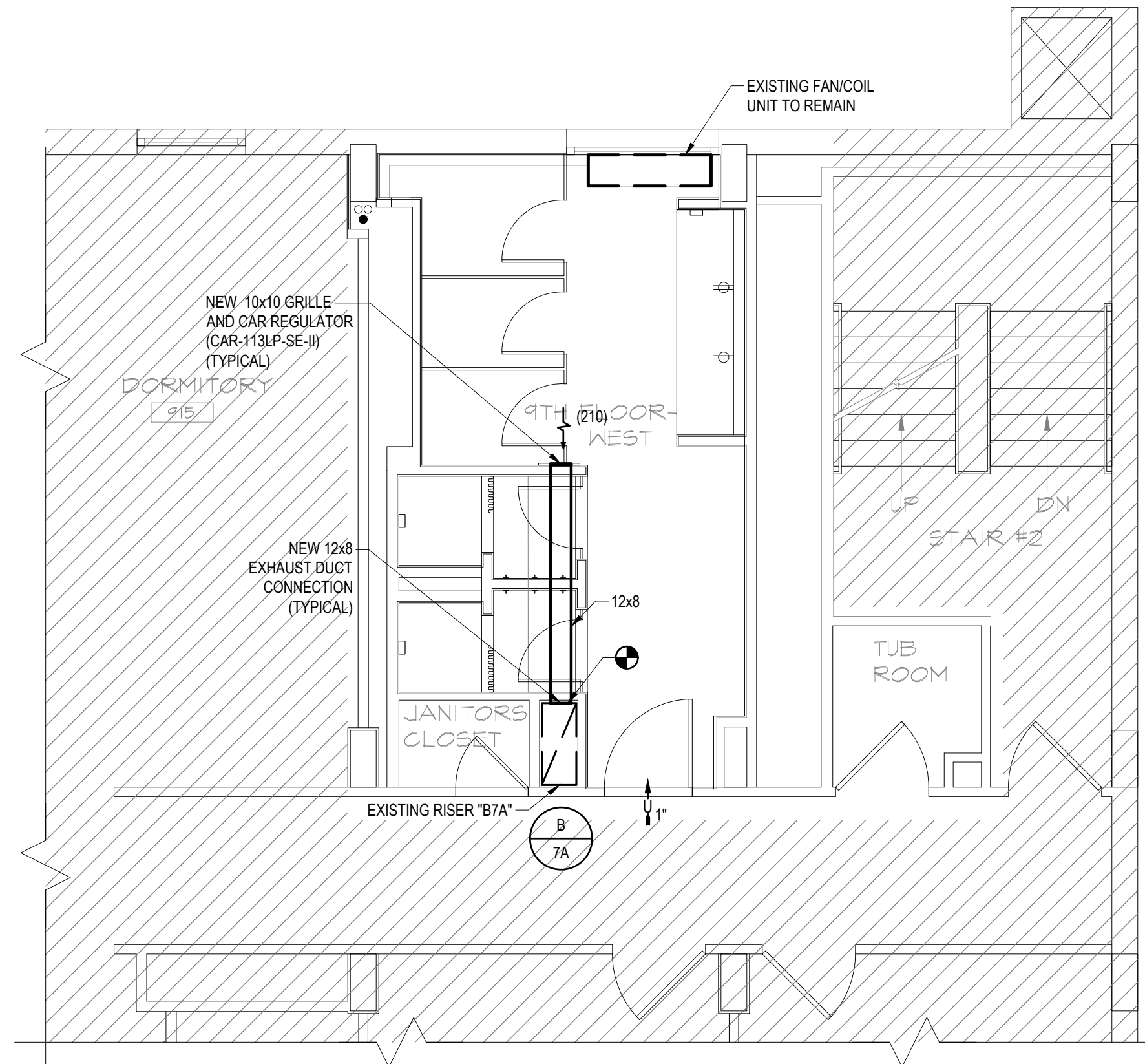
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- DEMOLITION WORK NOTES:**
1. PRIOR TO ANY DEMOLITION WORK CONTRACTOR SHALL TAKE THE ACTUAL AIRFLOW MEASUREMENTS AND SUBMIT WRITTEN REPORT TO THE OWNER AND ENGINEER.
 2. CONTRACTOR SHALL DEMOLISH EXISTING EXHAUST GRILLE AND RELATED DUCTWORK UP TO THE EXISTING EXHAUST RISER CONNECTION.



9TH FLOOR EAST MECHANICAL PART - NEW WORK

SCALE: 1/4" = 1'-0"
0 2 4 8



9TH FLOOR WEST MECHANICAL PART - NEW WORK

SCALE: 1/4" = 1'-0"
0 2 4 8

- NEW WORK NOTES:**
1. INSTALL NEW EXHAUST DUCT AND EXHAUST GRILLE AS SHOWN. CONNECT NEW DUCT TO EXISTING RISER.
 2. EXHAUST GRILLE SHALL BE CAR REGULATOR MODEL CAR-113LP-SE-II AS MANUFACTURED BY "ALDES".
 3. TOILET DOOR SHALL BE 1" UNDERCUT.

NOT FOR CONSTRUCTION

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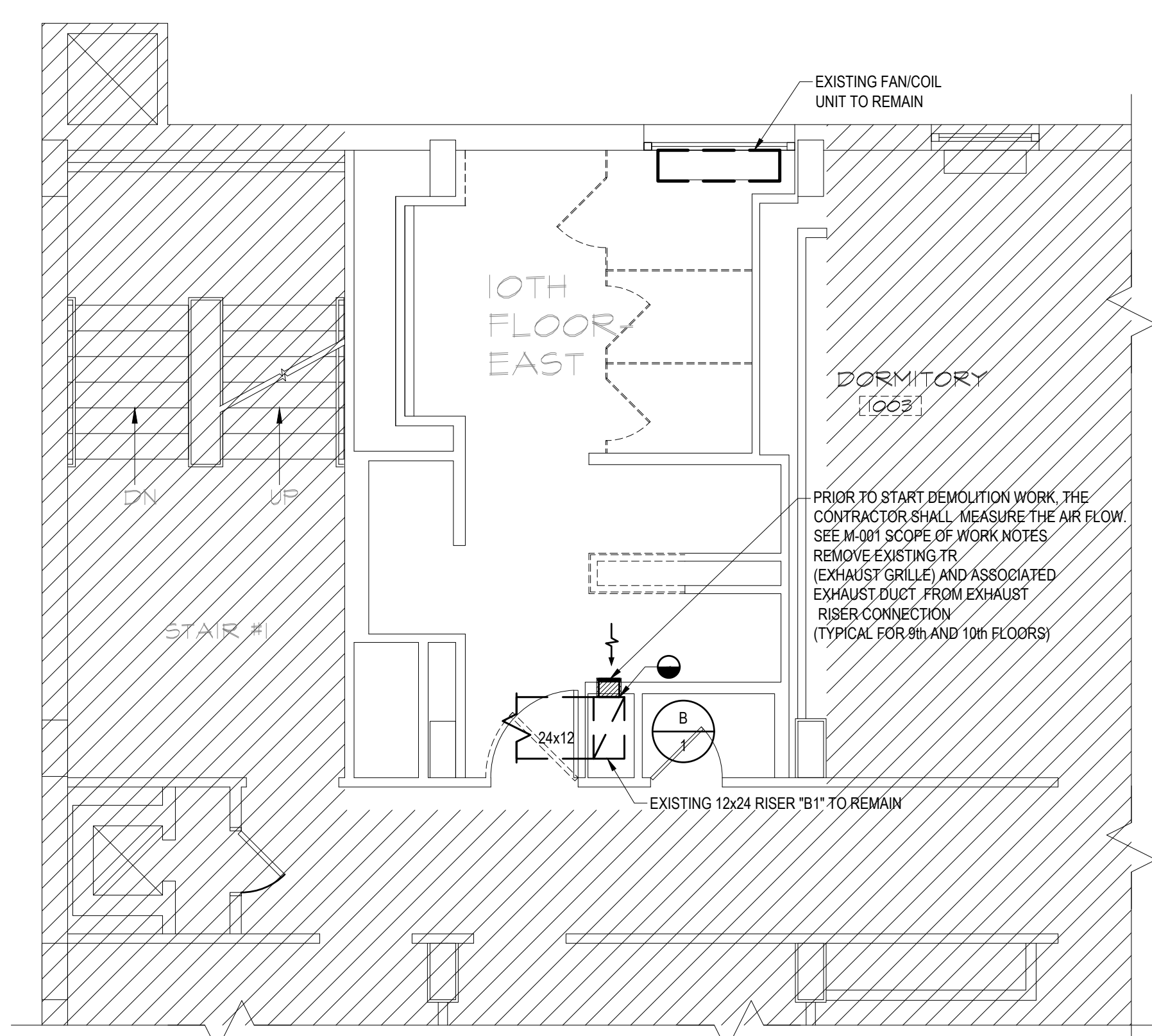
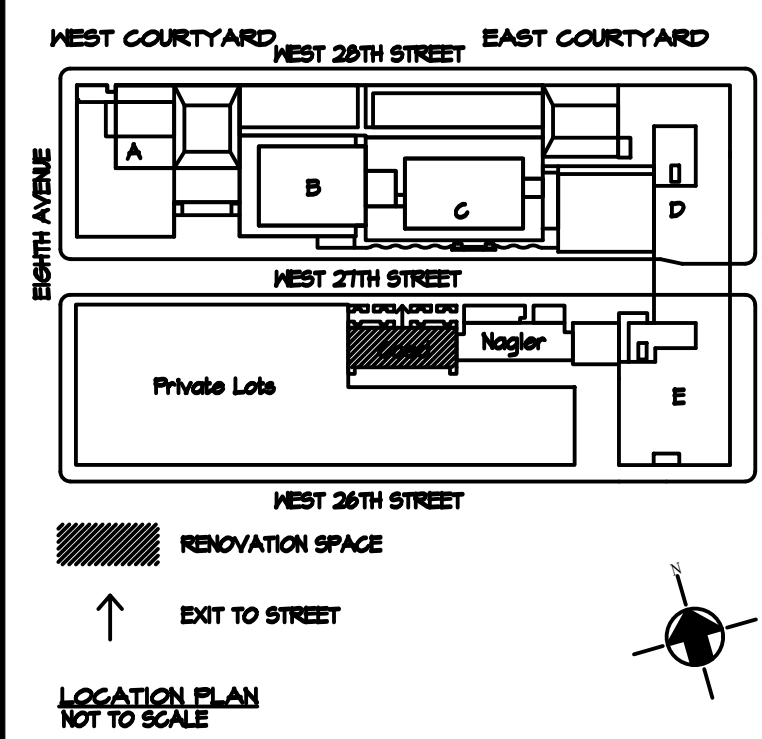
212 889 4045 Fax 212 889 3672

PROJECT:
CO-ED RESIDENCE HALL BATHROOM
RENOVATIONS - 9TH-10TH FLOORS
230 WEST 27TH ST
NEW YORK NY 10001

DRAWING TITLE:
9TH FLOOR MECHANICAL PART
PLANS - DEMOLITION AND NEW
WORK

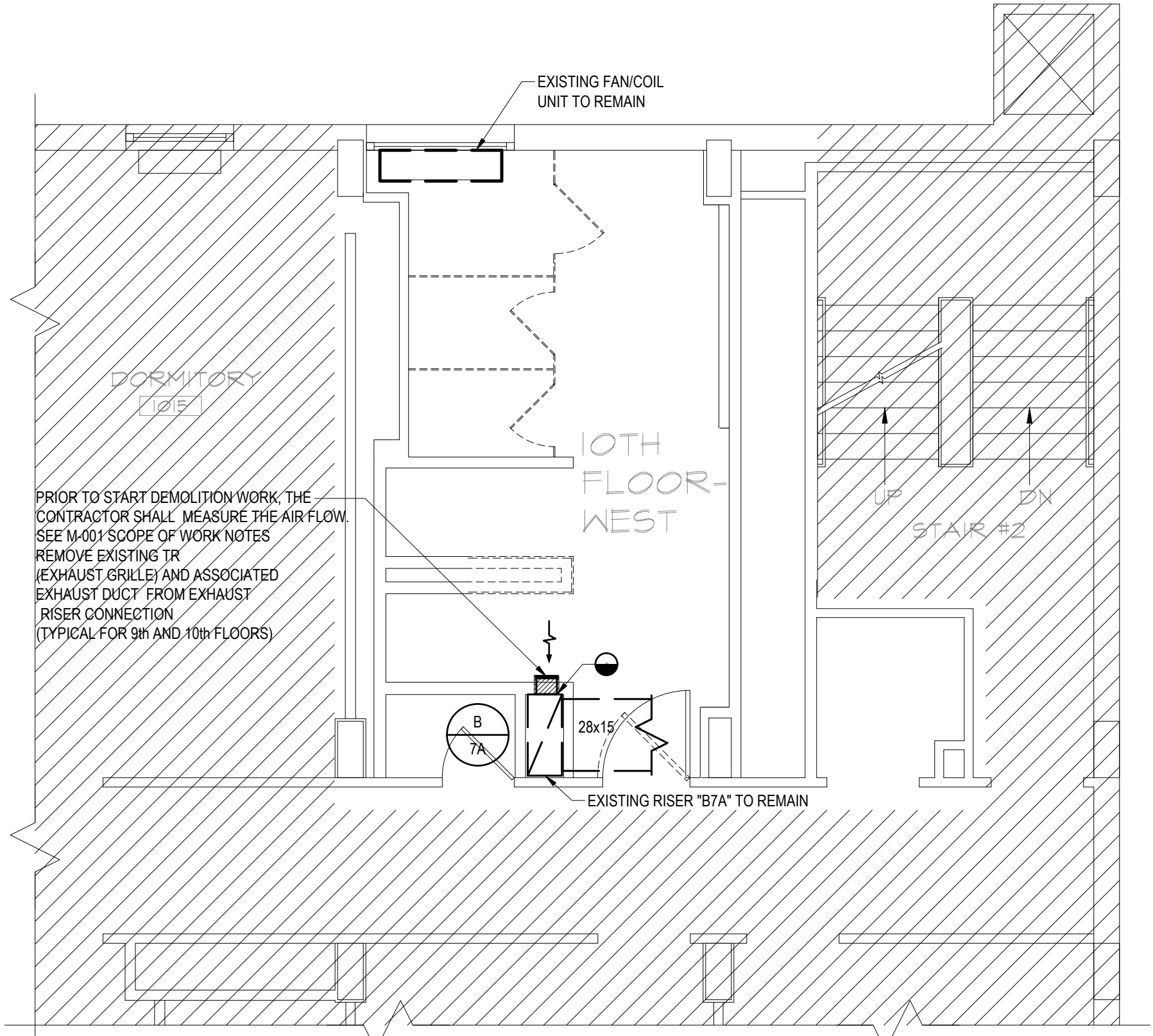
SEAL & SIGNATURE:	DATE: 03.15.2022
	PROJECT No: 15224.110
	DRAWING BY: R.K.
	CHK BY: D.N.
	DWG No:
	M-100.00
	SCALE AS NOTED
	2 OF 3

03/17/22 ISSUED FOR BID



10TH FLOOR EAST MECHANICAL PART - DEMOLITION WORK

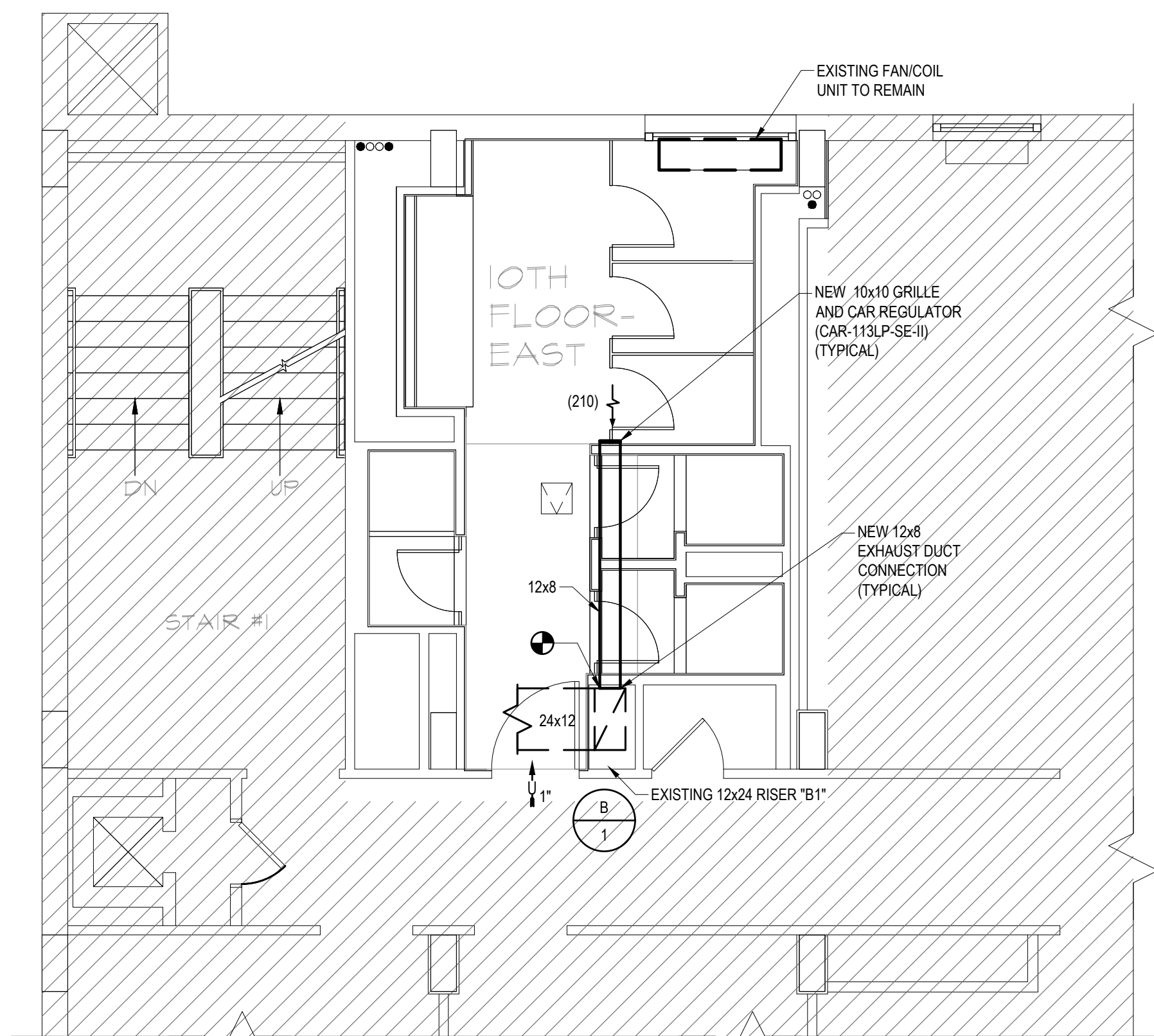
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10TH FLOOR WEST MECHANICAL PART - DEMOLITION WORK

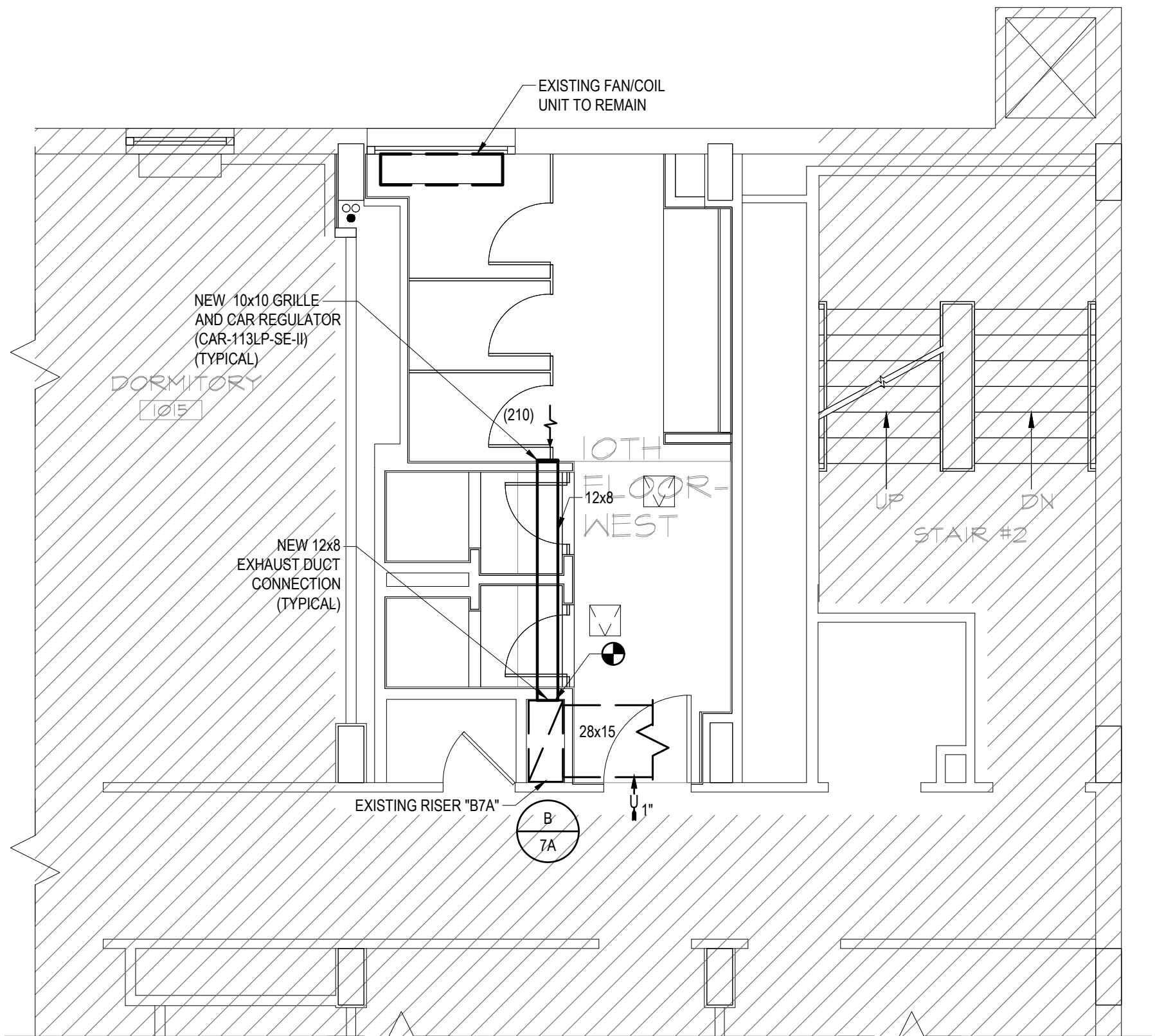
SCALE: 1/4" = 1'-0"
0 2 4 8

- DEMOLITION WORK NOTES:**
1. PRIOR TO ANY DEMOLITION WORK CONTRACTOR SHALL TAKE THE ACTUAL AIRFLOW MEASUREMENTS AND SUBMIT WRITTEN REPORT TO THE OWNER AND ENGINEER.
 2. CONTRACTOR SHALL DEMOLISH EXISTING EXHAUST GRILLE AND RELATED DUCTWORK UP TO THE EXISTING EXHAUST RISER CONNECTION.



10TH FLOOR EAST MECHANICAL PART - NEW WORK

SCALE: 1/4" = 1'-0"
0 2 4 8



10TH FLOOR WEST MECHANICAL PART - NEW WORK

SCALE: 1/4" = 1'-0"
0 2 4 8

- NEW WORK NOTES:**
1. INSTALL NEW EXHAUST DUCT AND EXHAUST GRILLE AS SHOWN. CONNECT NEW DUCT TO EXISTING RISER. PROVIDE CABLE OPERATED DAMPER. DAMPER SHALL BE OPERABLE THROUGH THE DIFFUSER GRILLE.
 2. EXHAUST GRILLE SHALL CAR REGULATOR AS MANUFACTURED BY 'ALDES' MODEL CAR-113LP-SE-II.
 3. TOILET DOOR SHALL BE 1" UNDERCUT.

NOT FOR CONSTRUCTION

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PROJECT:
CO-ED RESIDENCE HALL BATHROOM
RENOVATIONS - 9TH-10TH FLOORS
230 WEST 27TH ST
NEW YORK NY 10001

DRAWING TITLE:
10TH FLOOR MECHANICAL PART
PLANS - DEMOLITION AND NEW
WORK

SEAL & SIGNATURE:	DATE: 03.15.2022
	PROJECT No: 15224.110
	DRAWING BY: R.K.
	CHK BY: D.N.
	DWG No:
	M-101.00
	SCALE AS NOTED
	3 OF 3

LIGHTING FIXTURE SCHEDULE										
TYPE	FIXTURE DESCRIPTION	MANUFACTURER	LAMP		TOTAL WATTS	VOLTAGE	CONTROL	MTG HEIGHT	COMMENTS	
			QUANT/LAMP	WATTS/LAMP						LAMP TYPE
A1	CORONET SUSPENDED LSI LED FIXTURE, 3500K, 90CRI/8FT	CORONET LSI LED-8-35-LTG1-JUNV-DB-W-AC-SD	8	58	LED 3500K	UNV	0-10V DIM	VARIABLE, SEE PLAN	DAMP LOCATION LISTED	
A2	MODERN FORMS MINIVOGE VANITY/SCONCE LED FIXTURE, 1312 LED LUMENS/12"	MS-21718 BN	12	16	LED 3000K	UNV	0-10V DIM	VARIABLE, SEE PLAN	DAMP LOCATION LISTED	
A3	BEVELED BLOCK SURFACE-BLSDS SQUARE DOWNLIGHT, 3500K, 90CRI/5"X5"	BEVELED BLSDS-12C3-35KH-40-S-WH-S-JUNV	10	12	LED 3500K	UNV	0-10V DIM	VARIABLE, SEE PLAN	WET LOCATION LISTED	
A4	CORONET SURFACE MOUNT HP LED, 3500K, 90CRI, 2FT	CORONET HP LED-2-35-LTG1-JUNV-DB-W-SM/WM	12	14.5	LED 3500K	UNV	0-10V DIM	VARIABLE, SEE PLAN	DAMP LOCATION LISTED	
A5	CORONET SURFACE MOUNT HP LED, 3500K, 90CRI, 4FT	CORONET HP LED-4-35-LTG1-JUNV-DB-W-SM/WM	2	29	LED 3500K	UNV	0-10V DIM	VARIABLE, SEE PLAN	DAMP LOCATION LISTED	

COMcheck Software Version 4.1.1.0
Interior Lighting Compliance Certificate

Project Information
Energy Code: 90.1 (2013) Standard
Project Title: FIT-CO-ED Residence Hall Bathroom Renovation - 9th/10th Floors
Project Type: New Construction

Construction Site: 230 West 27th Street, 9th & 10th Floors, New York, NY 10001
Owner/Agent:
Designer/Contractor: Richard Meilan, Kallen & Lemelson Consulting PC, 520 Eight Ave, New York, NY 10018, 212-643-9898, wmarshak@klengineers.com

Allowed Interior Lighting Power

A Area Category	B Floor Area (ft2)	C Allowed Watts / ft2	D Allowed Watts (B X C)
1-9th Floor East (Common Space Types:Restrooms)	295	0.98	289
2-9th Floor West (Common Space Types:Restrooms)	300	0.98	294
3-10th Floor East (Common Space Types:Restrooms)	295	0.98	289
4-10th Floor West (Common Space Types:Restrooms)	300	0.98	294
			Total Allowed Watts = 1166

Proposed Interior Lighting Power

A Fixture ID : Description / Lamp / Wattage Per Lamp / Ballast	B Lamps/ Fixture	C # of Fixtures	D Fixture Watt.	E (C X D)
1-9th Floor East (Common Space Types:Restrooms)				
A1: LED Linear 33W:	1	2	58	116
A2: LED PAR 15W:	1	3	16	48
A3: LED Linear 11W:	1	3	12	36
A4: LED Linear 20W:	1	3	14	44
2-9th Floor West (Common Space Types:Restrooms)				
A1: LED Linear 33W:	1	2	58	116
A2: LED PAR 15W:	1	3	16	48
A3: LED Linear 11W:	1	2	12	24
A4: LED Linear 20W:	1	3	14	44
A5: LED Linear 22W:	1	2	29	58
3-10th Floor East (Common Space Types:Restrooms)				
A1: LED Linear 33W:	1	2	58	116
A2: LED PAR 15W:	1	3	16	48
A3: LED Linear 11W:	1	3	12	36
A4: LED Linear 20W:	1	3	14	44
4-10th Floor West (Common Space Types:Restrooms)				
A1: LED Linear 33W:	1	2	58	116

A Fixture ID : Description / Lamp / Wattage Per Lamp / Ballast	B Lamps/ Fixture	C # of Fixtures	D Fixture Watt.	E (C X D)
A2: LED PAR 15W:	1	3	16	48
A3: LED Linear 11W:	1	2	12	24
A4: LED Linear 20W:	1	3	14	44
A5: LED Linear 22W:	1	2	29	58
Total Proposed Watts = 1066				

Interior Lighting PASSES: Design 9% better than code

Interior Lighting Compliance Statement
Compliance Statement: The proposed interior lighting design represented in this document is consistent with the building plans, specifications, and other calculations submitted with this permit application. The proposed interior lighting systems have been designed to meet the 90.1 (2013) Standard requirements in COMcheck Version 4.1.1.0 and to comply with any applicable mandatory requirements listed in the Inspection Checklist.

Name - Title _____ Signature _____ Date _____

COMcheck Software Version 4.1.1.0
Inspection Checklist
Energy Code: 90.1 (2013) Standard

Requirements: 100.0% were addressed directly in the COMcheck software
Text in the "Comments/Assumptions" column is provided by the user in the COMcheck Requirements screen. For each requirement, the user certifies that a code requirement will be met and how that is documented, or that an exception is being claimed. Where compliance is itemized in a separate table, a reference to that table is provided.

Section # & Req.ID	Plan Review	Complies?	Comments/Assumptions
4.2.2, 8.4.1.1, 8.4.1.2, 8.7 [PR6]	Plans, specifications, and/or calculations provide all information with which compliance can be determined for the electrical systems and equipment and document where exceptions are claimed. Feeder connectors sized in accordance with approved plans and branch circuits sized for maximum drop of 3%.	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	Requirement will be met. Location on plans/spec: E-301
4.2.2, 9.4.3, 9.7 [PR4]	Plans, specifications, and/or calculations provide all information with which compliance can be determined for the interior lighting and electrical systems and equipment and document where exceptions to the standard are claimed. Information provided should include interior lighting power calculations, wattage of bulbs and ballasts, transformers and control devices.	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	Requirement will be met. Location on plans/spec: E-002

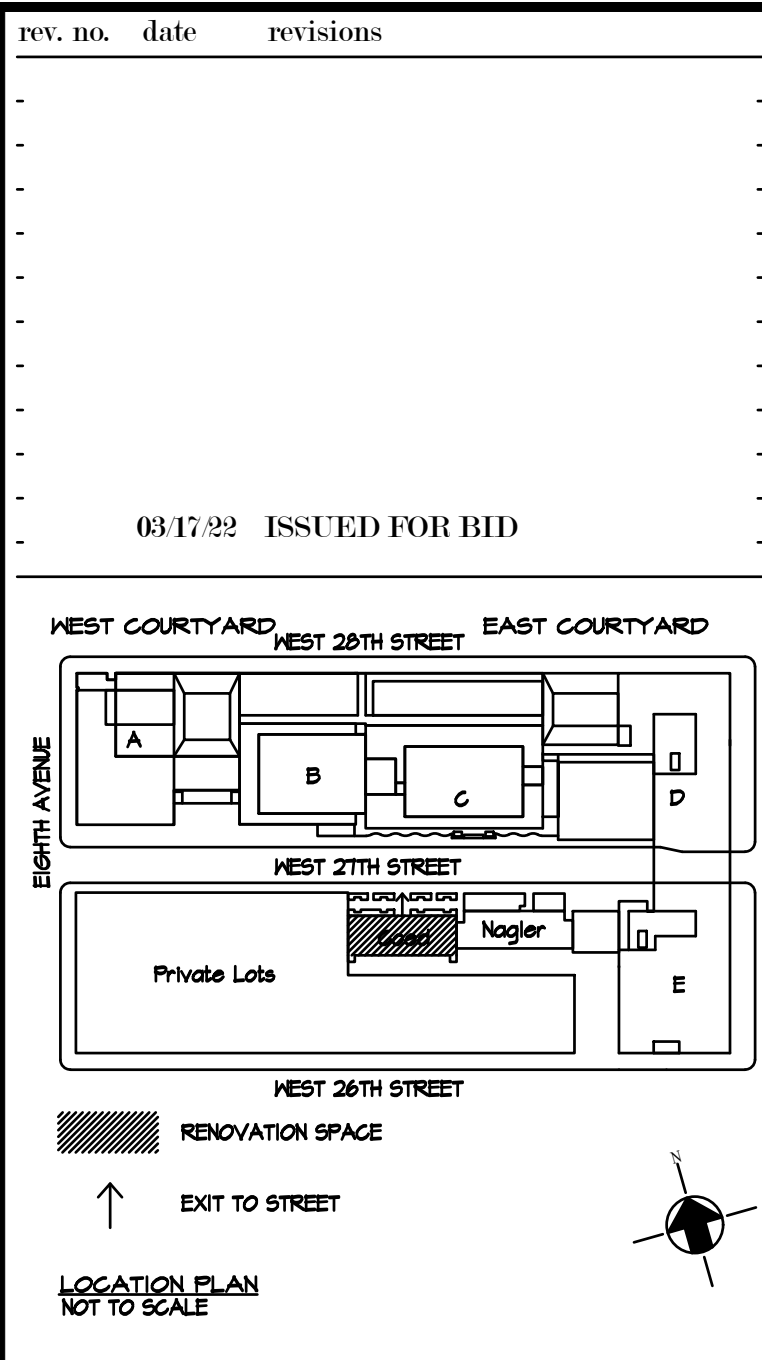
Additional Comments/Assumptions:

Section # & Req.ID	Rough-In Electrical Inspection	Complies?	Comments/Assumptions
8.4.2 [EL10]	At least 50% of all 125 volt 15- and 20-Amp receptacles are controlled by an automatic control device.	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	Exception: Requirement does not apply.
9.4.1.1 [EL1]	Automatic control requirements prescribed in Table 9.6.1, for the appropriate space type, are installed. Mandatory lighting controls (labeled as 'REQ') and optional choice controls (labeled as 'ADD1' and 'ADD2') are implemented.	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	Requirement will be met. Location on plans/spec: E-201
9.4.1.1 [EL2]	Independent lighting controls installed per approved lighting plans and all manual controls readily accessible and visible to occupants.	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	Requirement will be met. Location on plans/spec: E-201
9.4.1.2 [EL11]	Parking garage lighting is equipped with required lighting controls and daylight transition zone lighting.	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	Exception: Requirement does not apply.
9.4.1.1f [EL13]	Daylight areas under skylights and roof monitors that have more than 150 W combined input power for general lighting are controlled by photocontrols.	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	Exception: Requirement does not apply.
9.4.1.3 [EL4]	Separate lighting control devices for specific uses installed per approved lighting plans.	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	Requirement will be met. Location on plans/spec: E-201
9.6.2 [EL8]	Additional interior lighting power allowed for special functions per the approved lighting plans and is automatically controlled and separated from general lighting.	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	Requirement will be met. Location on plans/spec: E-201

Additional Comments/Assumptions:

Section # & Req.ID	Final Inspection	Complies?	Comments/Assumptions
8.7.1 [F116]	Furnished as-built drawings for electric power systems within 30 days of system acceptance.	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	Requirement will be met.
8.7.2 [F117]	Furnished O&M instructions for systems and equipment to the building owner or designated representative.	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	Requirement will be met.
9.2.2.3 [F118]	Interior installed lamp and fixture lighting power is consistent with what is shown on the approved lighting plans, demonstrating proposed watts are less than or equal to allowed watts.	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	See the Interior Lighting fixture schedule for values.

Additional Comments/Assumptions:



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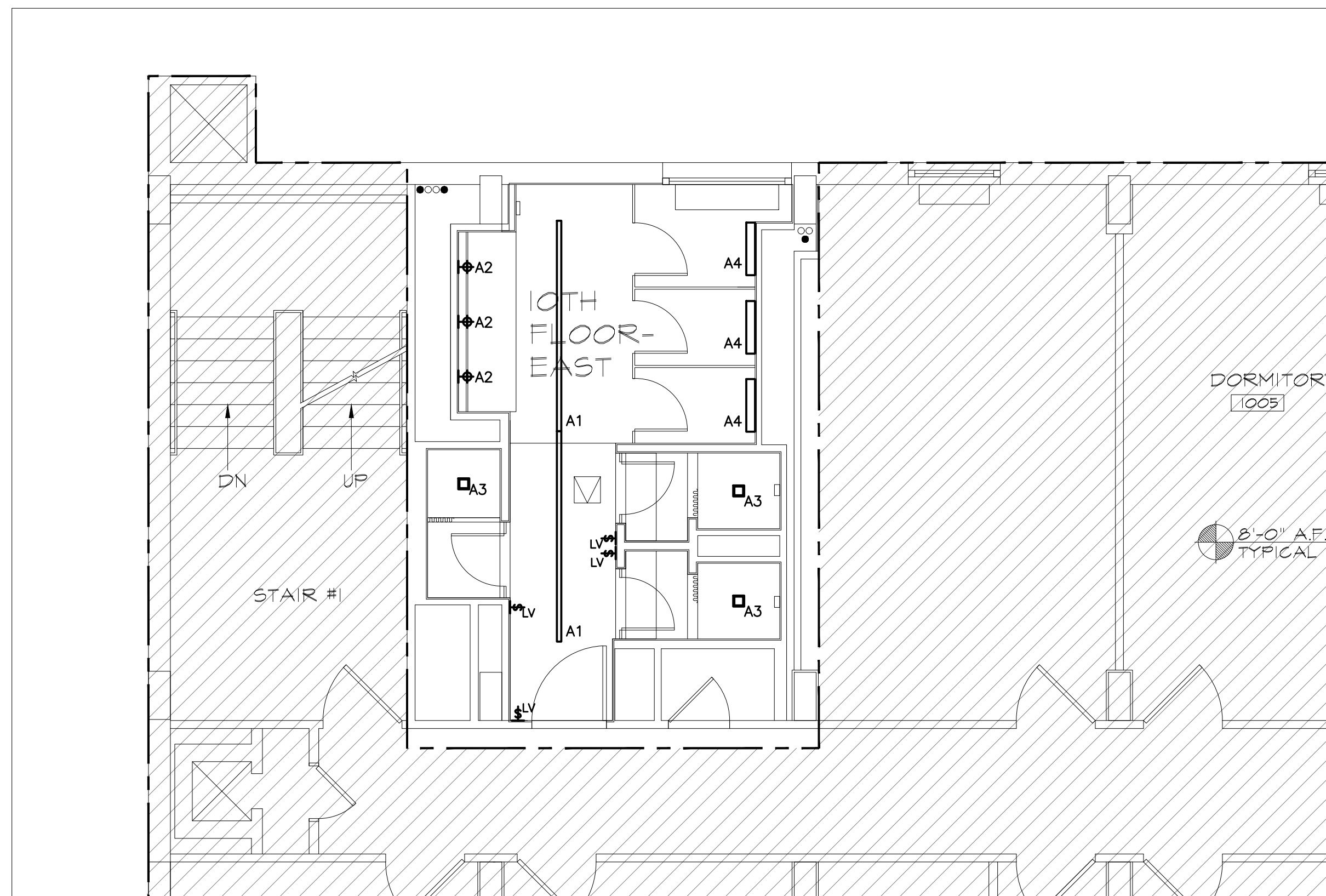
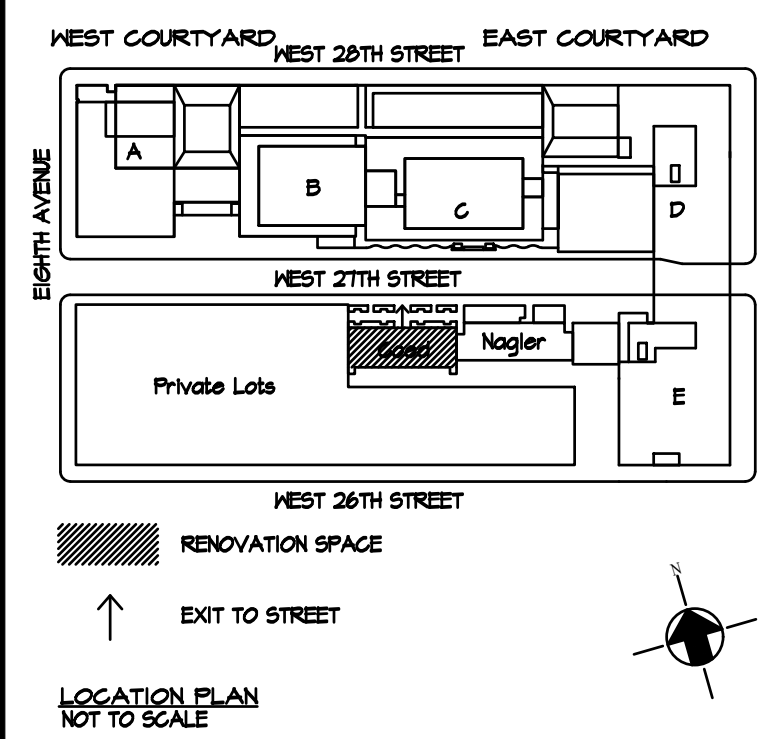
PROJECT:
CO-ED RESIDENCE HALL BATHROOM RENOVATIONS - 9TH-10TH FLOORS
230 WEST 27TH ST
NEW YORK NY 10001

DRAWING TITLE:
ENERGY CODE COMPLIANCE CALCULATIONS AND LIGHTING FIXTURE SCHEDULE

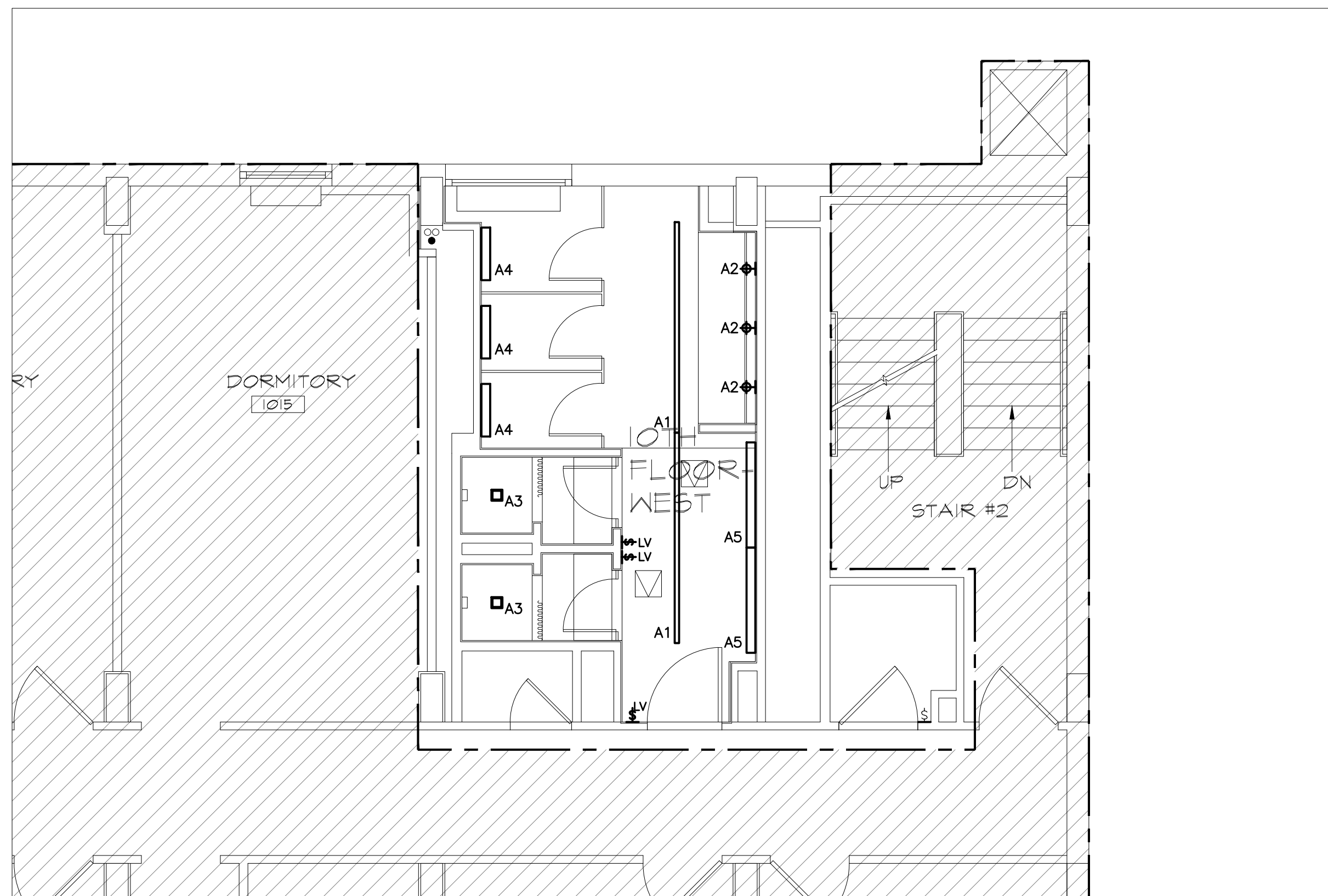
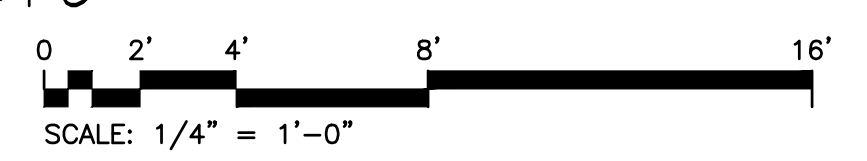
SEAL & SIGNATURE: _____ DATE: 03.15.2022
PROJECT No: 13204.110
DRAWING BY: R.C.
CHK BY: K.B.
DWG No: EN-001.00
SCALE: NONE 1 OF 2

NOT FOR CONSTRUCTION

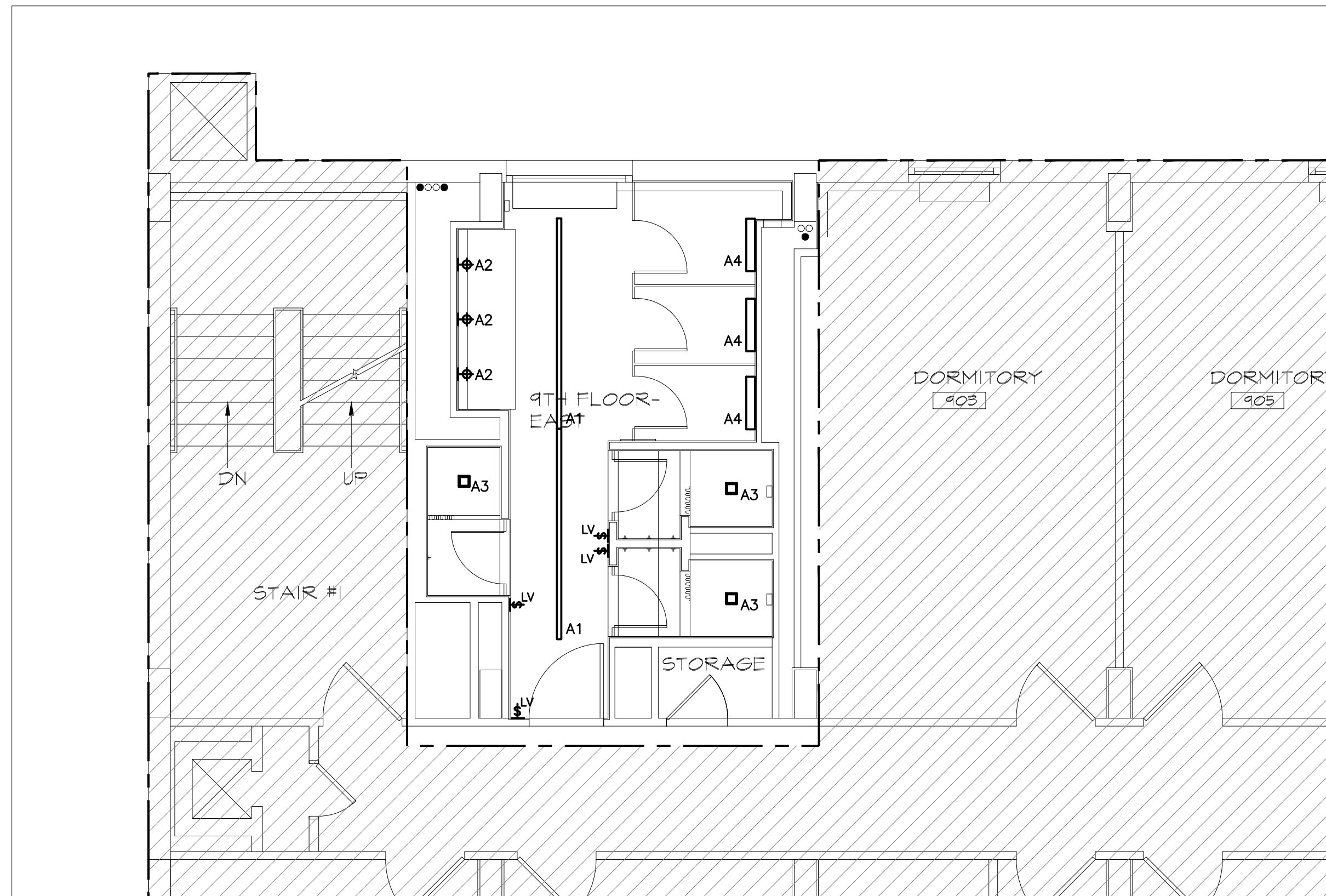
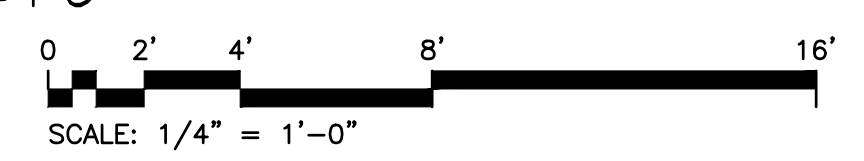
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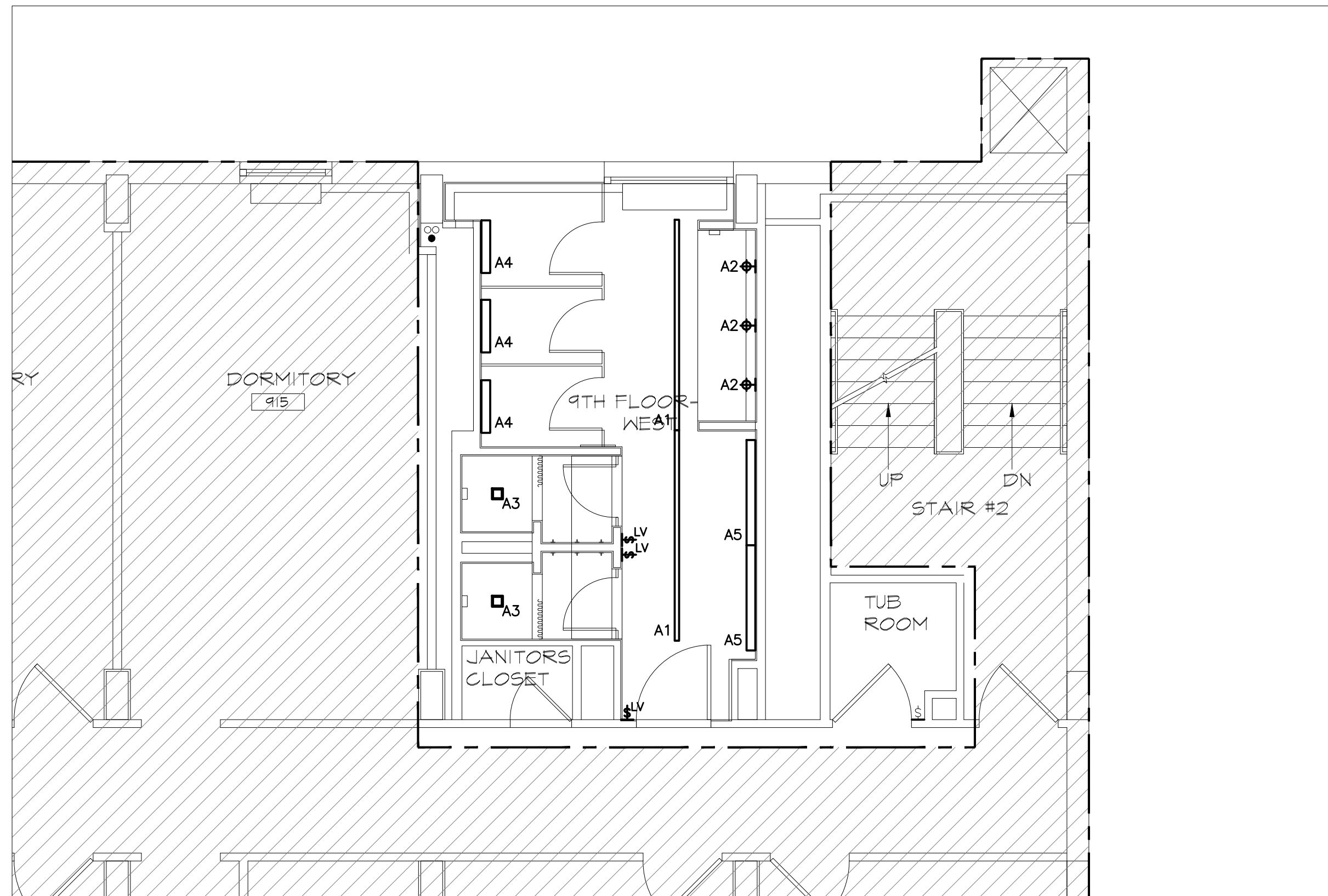
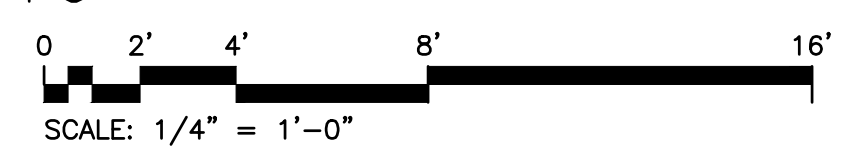
3 PART PLAN LIGHTING TYPICAL - FOR 10TH FLOOR EAST SIDE BATHROOM
SCALE: 1/4" = 1'-0"



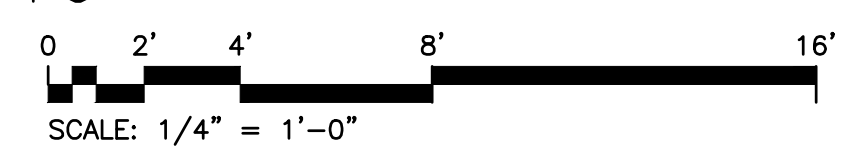
4 PART PLAN LIGHTING TYPICAL - FOR 10TH FLOOR WEST SIDE BATHROOM
SCALE: 1/4" = 1'-0"



1 PART PLAN LIGHTING TYPICAL - FOR 9TH FLOOR EAST SIDE BATHROOM
SCALE: 1/4" = 1'-0"



2 PART PLAN LIGHTING TYPICAL - FOR 9TH FLOOR WEST SIDE BATHROOM
SCALE: 1/4" = 1'-0"



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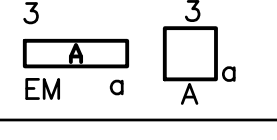
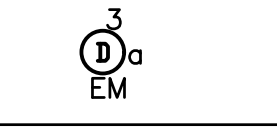
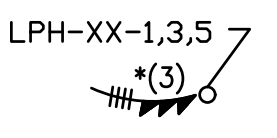
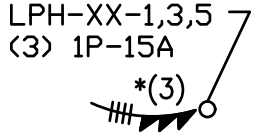
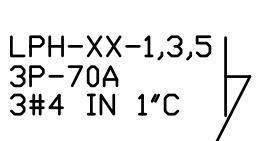
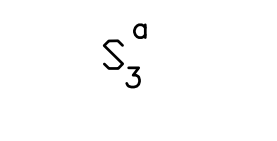
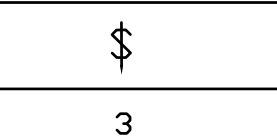


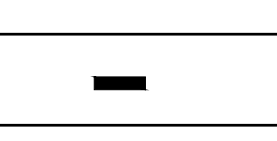
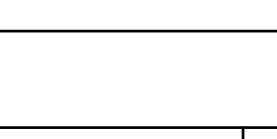
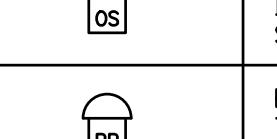
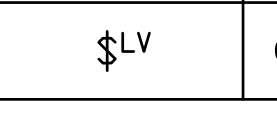
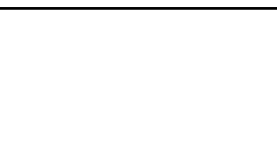
PROJECT:
CO-ED RESIDENCE HALL BATHROOM
RENOVATIONS - 9TH-10TH FLOORS
230 WEST 27TH ST
NEW YORK NY 10001

DRAWING TITLE:
ENERGY CODE COMPLIANCE
9TH & 10TH FLOOR LIGHTING
PART PLANS

SEAL & SIGNATURE:	DATE: 03.15.2022
	PROJECT No: 13224.110
	DRAWING BY: K.B.
	CHK BY: K.B.
	DWG No:
	EN-002.00
	SCALE AS NOTED 2 OF 2

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SYMBOL LIST

SYMBOL	DESCRIPTION
LIGHTING SYSTEM	
	LIGHTING FIXTURE RECESSED, SURFACE OR PENDANT MOUNTED TYPE "A", CONTROLLED BY SWITCH "a", 3 - CIRCUIT NUMBER EM - EMERGENCY BATTERY INTEGRAL TO FIXTURE
	LIGHTING FIXTURE CEILING MOUNTED TYPE "A", CONTROLLED BY SWITCH "a", 3 - CIRCUIT NUMBER EM - EMERGENCY BATTERY PACK INTEGRAL TO FIXTURE
BRANCH CIRCUITRY	
	LIGHTING AND APPLIANCE BRANCH CIRCUITRY: a. ARROWHEADS INDICATE HOMERUN b. NUMBER OF ARROWHEADS INDICATES NUMBER OF '1P-20A' BRANCH DEVICE REQUIRED IN PANELBOARD UNLESS INDICATED OTHERWISE, FOR EXAMPLE: i. (3) 1P-15A INDICATE THREE SINGLE POLE (1P) FIFTEEN AMPERE (15A) DEVICES IN PANELBOARD. c. NUMBER OF HASH MARKS INDICATES NUMBER OF WIRES TO BE PROVIDED IN ACCORDANCE WITH THE REQUIREMENTS FOR BRANCH CIRCUITRY EXCLUDING GROUND WIRE d. 3#4 IN 1" C INDICATES CONDUIT AND WIRE SIZE e. LPH-XX#1,3,5 INDICATES PANELBOARD DESIGNATION OF HOMERUN AND CIRCUIT NUMBER. f. * (3) DENOTES QUANTITY OF RELAYS IN LIGHTING CONTROL PANEL
	
	
WIRING DEVICES	
	SINGLE POLE SWITCH 2 = TWO-POLE, 3 = THREE-WAY, 4 = FOUR-WAY, K = KEY OPERATED, P = WITH PILOT LIGHT, t = WITH THERMAL OVERLOAD ELEMENT (HP RATED), MC = MOMENTARY CONTACT, "a" = CONTROLLING OUTLET "a", D = DIMMER OS = OCCUPANCY SENSOR
	DIMMABLE SWITCH
	DUPLEX CONVENIENCE RECEPTACLE WALL MOUNTED, NUMERAL ADJACENT TO RECEPTACLE INDICATES CIRCUIT NUMBER, "D" ADJACENT TO RECEPTACLE INDICATES DEDICATED RECEPTACLE
	DENOTES GROUND FAULT INTERRUPTER TYPE
	JUNCTION BOX
POWER DISTRIBUTION SYSTEM	
	LIGHTING/APPLIANCE PANELBOARD
SPECIALTY AND MISCELLANEOUS	
	SURFACE CEILING MOUNTED COMBINATION ULTRASONIC/ PASSIVE INFRARED OCCUPANCY SENSOR. DEVICE SHALL GENERATE ON/OFF SIGNALS TO POWER MODULE AND BE PROVIDED WITH POWER MODULE.
	POWER MODULE LOCATED ABOVE ACCESSIBLE HUNG CEILING ADJACENT TO LIGHT FIXTURE WITH INTEGRAL 20 AMP RATED RELAY. POWER MODULE SHALL BE COMPATIBLE WITH CEILING SENSOR.
	ON-OFF SWITCH WALL MOUNTED (LOW VOLTAGE)

ABBREVIATIONS

	DESCRIPTION		DESCRIPTION
A	AMPERE	LTG	LIGHTING
AC	ABOVE COUNTER TOP	MCM	MECHANICAL
AFF	ABOVE FINISHED FLOOR	MECH	MISCELLANEOUS
AWG	AMERICAN WIRE GAUGE	MISC	MOUNTED
BLDG	BUILDING	MTD	NOT-IN-CONTRACT
BLDG C	CONDUIT	NL	NIGHT LIGHT
CB	CIRCUIT BREAKER	NTS	NOT TO SCALE
CCTV	CLOSED CIRCUIT TELEVISION	PB	PULL BOX
CKT	CIRCUIT	PNL	PANEL
CLG	CEILING	R	RELOCATED
CU	COPPER	RM	ROOM
DISC	DISCONNECT	RMS	SPECIFICATIONS
DWG	DRAWING	SW	SWITCH
E	EXISTING	TV	TELEVISION
EC	EMPTY CONDUIT	TYP	TYPICAL
ELEC	ELECTRICAL	UC	UNDER COUNTER
EM	EMERGENCY	UF	UNUSED
ER	EXISTING TO RELOCATE	UON	UNLESS OTHERWISE NOTED
FA	FIRE ALARM	V	VOLT OR VOLTAGE
FT	FEET	W	WATT
GD	GROUND	WP	WEATHER-PROOF
GFI	GROUND FAULT INTERRUPTER	XFMR	TRANSFORMER
HP	HORSEPOWER	WI	WIFI
IC	INTERRUPTING CAPACITY	M	MONITOR
JB	JUNCTION BOX		
KVA	KILOVOLT AMPERE		
KW	KILOWATT		

EXISTING CONDITION AND RELOCATION NOTES

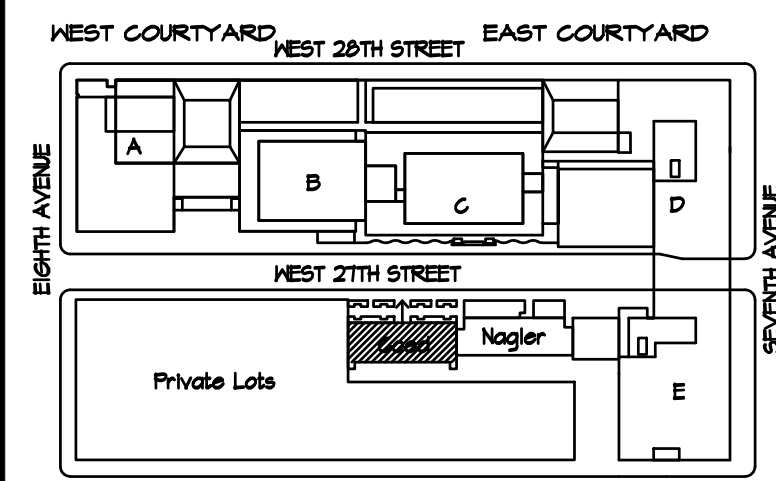
- GENERALLY, IN AREAS SCHEDULED FOR DEMOLITION AND REMODELING, REMOVE ALL ELECTRICAL DEVICES SUCH AS LIGHTING FIXTURES, WIRING DEVICES, TELEPHONE BOXES, SPEAKERS, FIRE ALARM DEVICES, TELEVISION OUTLETS, DISCONNECT, MOTORS, ETC., THAT ARE LOCATED ON EXISTING WALLS OR PARTITIONS WHICH ARE TO BE DEMOLISHED. REMOVE EXPOSED PORTIONS OF THE BRANCH AND SIGNAL CIRCUIT WIRING AND CONDUITS AND BE RESPONSIBLE FOR MAINTAINING THE CONTINUITY OF EXISTING CIRCUITS FEEDING DEVICES THAT ARE TO REMAIN. MAINTAIN THE CONTINUITY OF EXISTING CIRCUITS SERVING OTHER SPACES BUT PASSING THROUGH THE AREA OF RENOVATION.
- ALL RACEWAYS AND FEEDERS SERVING PANEL BOARDS SCHEDULED FOR DEMOLITION SHALL BE REMOVED IN THEIR ENTIRETY BACK TO THEIR SOURCE. UPDATE PANEL SCHEDULES AND LABELS OF UPSTREAM PANEL BOARDS TO REFLECT DEMOLITION.
- CIRCUITS STILL IN USE WHICH ARE DERIVED FROM PANELS SCHEDULED TO BE DEMOLISHED SHALL BE REROUTED TO ALTERNATE PANELS. NOTIFY OWNER'S REPRESENTATION AND ARCHITECT FOR RECOMMENDATIONS.
- IN SUCH CASES WHERE EXISTING WALLS ARE TO REMAIN, EXPOSED RACEWAYS, SURFACE AND RECESSED OUTLET BOXES, ETC., WHICH ARE NOT TO BE REUSED SHALL BE COMPLETELY REMOVED. IN SUCH CASES, WHERE NEW CONDUITS AND OUTLETS ARE TO BE INSTALLED IN EXISTING WALLS, IN FURNISHED ROOMS, THEY SHALL BE CONCEALED BY CUTTING AND PATCHING THE WALLS FOR THE CONDUITS AND OUTLET BOXES UNLESS OTHERWISE NOTED.
- CONDUITS OR SLEEVES, THAT ARE NO LONGER REQUIRED, WHICH ARE PROTRUDING THROUGH THE FLOOR SLAB, SHALL BE CUT BACK AND CAPPED. ALL FEEDERS TO BE REMOVED BACK TO PANEL BOARD.
- ELECTRICAL EQUIPMENT REMOVED SHALL BE RETURNED TO OWNER OR DISCARDED PER OWNER DIRECTIVE.
- REMOVE TELEPHONE AND DATA CABLES BACK TO CLOSET OF ORIGINATION. THE ELECTRICAL CONTRACTOR SHALL COORDINATE WITH THE OWNER'S TELECOMMUNICATION DEPARTMENTS FOR THE DISCONNECTION AND REMOVAL LOW TENSION DEVICES.
- ELECTRICAL CONTRACTOR SHALL MAINTAIN THE INTEGRITY OF EXISTING SYSTEM CIRCUITS FOR FIRE ALARM, POWER AND TELE COMMUNICATIONS, ETC., DURING DEMOLITION.
- THE ELECTRICAL CONTRACTOR SHALL REMOVE ALL ABANDONED WIRING/CABLING NO LONGER IN USE FROM RACEWAYS.
- UTILIZE, WHENEVER POSSIBLE, PRACTICAL, AND APPROVED BY ARCHITECT, EXISTING OUTLET BOXES, ETC., COMPATIBLE WITH THE MATERIAL SPECIFIED FOR INSTALLATION IN THE NEW CONSTRUCTION AREAS. WHENEVER EXISTING RACEWAY SYSTEMS ARE UTILIZED, REMOVE ALL EXISTING WIRING. IN SUCH CASES, ALL ASSOCIATED CONDUITS AND WIRING SHALL BE ARRANGED TO ACCOMMODATE THE NEW CIRCUITING AS SHOWN ON THE DRAWING.
- THE ELECTRICAL DEMOLITION PLANS INDICATE GENERAL INTENT AND ARE NOT INTENDED TO SHOW ALL COMPONENTS AND ITEMS TO BE REMOVED OR RETAINED. THE ELECTRICAL CONTRACTOR SHALL VISIT THE SITE PRIOR TO SUBMISSION OF THEIR BID TO BECOME FAMILIAR WITH THE ACTUAL WORKING CONDITIONS AND EXTENT OF WORK. DEVICES AND EQUIPMENT LOCATED ON THE WALLS AND OR CEILINGS DESIGNATED TO BE REMOVED SHALL BE DISCONNECTED AND MADE SAFE. THE ELECTRICAL CONTRACTOR SHALL IMMEDIATELY NOTIFY THE OWNER'S REPRESENTATION AND ARCHITECT OF ANY UNANTICIPATED OR HIDDEN CONDITIONS ENCOUNTERED DURING DEMOLITION.
- THE ELECTRICAL CONTRACTOR SHALL CIRCUIT TRACE AND LABEL ALL EXISTING BRANCH AND FEEDERS WITHIN OR ASSOCIATED WITH DEMOLITION SCOPE PRIOR TO DEENERGIZING AND DISCONNECTION. ALL CIRCUITS WITHIN PANELBOARDS, LOAD CENTERS, MOTOR CONTROL CENTERS AND SWITCHBOARDS, IDENTIFIED FOR REMOVAL SHALL BE TRACED AND FIELD LABELED TO ENSURE THAT NO AREA OUTSIDE THE SCOPE LIMIT IS AFFECTED.
- COORDINATE ALL TEL/DATA WIRING DEMOLITION WITH FIT INFORMATION SYSTEMS STAFF PRIOR TO THE START OF ANY DEMOLITION AFTER PROPERLY IDENTIFYING TEL/DATA WIRING, CABLES ARE TO BE COMPLETELY REMOVED FROM ALL TERMINATION INCLUDING JACKS, WALL PLATES AND PATCH PANELS.
- CONTRACTOR TO OPEN EXISTING CEILING AS REQUIRED FOR INSTALLATION OF NEW WORK OR REMOVAL/MODIFICATION OF EXISTING SYSTEMS AND EQUIPMENT. CEILINGS TO BE CLOSED UPON COMPLETION OF WORK.

GENERAL NOTES

- THE GENERAL NOTES APPLY TO ALL DRAWINGS UNDER THIS CONTRACT. REFER TO INDIVIDUAL DRAWINGS FOR ADDITIONAL NOTES.
- DRAWINGS ARE DIAGRAMMATIC AND INDICATE GENERAL ARRANGEMENT OF SYSTEMS AND WORK. FOLLOW DRAWINGS IN LAYING OUT WORK AND CHECK DRAWINGS OF OTHER TRADES TO VERIFY SPACE CONDITIONS. MAINTAIN HEADROOM AND SPACE CONDITIONS CONSISTENT WITH PROJECT CRITERIA.
- EXACT LOCATION OF LIGHTING FIXTURES SHALL BE IN ACCORDANCE WITH ARCHITECTURAL REFLECTED CEILING PLAN OR AS DIRECTED BY THE ARCHITECT.
- THE ELECTRICAL CONTRACTOR SHALL COORDINATE ALL CEILING WORK WITH CEILING CONTRACTOR AND DETERMINE CEILING TYPE PRIOR TO FURNISHING OF LIGHTING FIXTURES, SPEAKERS, SMOKE DETECTORS, EXIT LIGHTS, OR ANY OTHER CEILING MOUNTED ELECTRICAL ELEMENTS. ELECTRICAL WORK SHALL ALSO BE COORDINATED WITH LOCATION OF DIFFUSES, SPRINKLERS AND OTHER MECHANICAL WORK.
- EXACT LOCATION AND MOUNTING OF LIGHTING FIXTURES IN MECHANICAL AREAS SHALL BE COORDINATED WITH THE MECHANICAL TRADES TO AVOID CONFLICT WITH PIPING, DUCTS AND EQUIPMENT. IN GENERAL, THE FINAL LOCATION OF LIGHTING FIXTURES SHALL BE GOVERNED BY THE NEED OF TASK LIGHTING IN THE VICINITY OF PANELBOARDS, MOTOR CONTROLS, CONTROLS AND INSTRUMENT PANELS AND GAUGES.
- LOCATION OF OUTLETS AND SWITCHES IN FINISHED ROOMS SHALL BE VERIFIED WITH ARCHITECTURAL DRAWINGS OF INTERIOR DETAILS AND FINISHES. IN CENTERING OUTLETS AND LOCATION OF BOXES AND OUTLETS ALLOW FOR OVERHEAD PIPES, DUCTS AND MECHANICAL EQUIPMENT, VARIATION IN FIREPROOFING AND PLASTERING, WINDOW AND DOOR TRIMS, PANELING, SUSPENDED CEILING AND THE LIKE. CORRECT ANY INACCURACY RESULTING FROM FAILURE TO DO SO WITHOUT ANY ADDITIONAL EXPENSE TO THE OWNER.
- JUNCTION AND PULL BOXES SHALL GENERALLY BE LOCATED FOR FLUSH MOUNTING IN FINISHED SPACES. WHERE NECESSARY, CONDUIT SHALL BE REROUTED OR OTHER ARRANGEMENTS SHALL BE MADE FOR CONCEALMENT. PULL BOXES SHALL BE PROVIDED AS INDICATED AND WHEREVER NECESSARY TO FACILITATE PULLING OF WIRE AND COORDINATE LOCATION WITH OTHER TRADES. COVERS OF JUNCTION AND PULL BOXES SHALL BE ACCESSIBLE. FOR EMPTY RACEWAY RUNS PULL BOXES SHALL BE PROVIDED EVERY 100 FEET AND AS INDICATED OR NECESSARY.
- SEPARATE BOXES OR WIREWAYS SHALL BE PROVIDED FOR EMERGENCY AND NORMAL WIRING.
- ALL OUTLET BOXES RECEIVING 1-1/4" CONDUIT SHALL BE A MINIMUM OF 2-1/2" DEEP.
- BOXES SHALL BE SET SQUARE AND TRUE WITH BUILDING FINISH. WALL AND SWITCH OUTLETS SHALL BE ERECTED IN ADVANCE OF FURRING AND FIREPROOFING. BOXES SHALL BE SECURED TO BUILDING STRUCTURE BY ADJUSTABLE STRAP IRONS.
- LOCATIONS INDICATED FOR WALL SWITCHES ARE SUBJECT TO MODIFICATIONS AT OR NEAR DOORS, SWITCH SHALL BE INSTALLED ON SIDE OPPOSITE HINGE (FINAL DOOR HINGE LOCATION SHALL BE VERIFIED IN FIELD PRIOR TO SWITCH OUTLET INSTALLATION).
- ALL SUPPORTS TO BUILDING STRUCTURE SHALL BE SECURED AS NOTED IN THE SPECIFICATIONS. HORIZONTAL RUNS OF METALLIC CONDUIT SHALL BE SUPPORTED AT INTERVALS OF NOT MORE THAN 10 FEET APART. RACEWAY RISERS SHALL BE SUPPORTED AT EACH FLOOR LEVEL. EXPOSED RACEWAYS SHALL RUN PARALLEL WITH OR AT RIGHT ANGLES TO WALLS.
- PANELS, JUNCTION BOXES AND PULL BOXES SHALL BE SUPPORTED INDEPENDENTLY TO BUILDING STRUCTURE WITH NO WEIGHT BEARING ON CONDUIT.
- ALL REQUIRED ACCESS DOORS SHALL BE FURNISHED UNDER THE ELECTRICAL SECTION AND INSTALLED UNDER GENERAL CONSTRUCTION. ALL ACCESS DOOR LOCATIONS SHALL BE REVIEWED BY THE ARCHITECT PRIOR TO INSTALLATION.
- HEIGHTS OF OUTLETS FROM FINISHED FLOOR TO CENTERLINE OF OUTLET SHALL BE AS SHOWN IN SPECIFICATIONS OR OTHERWISE DIRECTED BY ARCHITECT.
- NO ELECTRICAL RACEWAYS SHALL BE INSTALLED WITHIN 3 INCHES OF STEAM OR HOT WATER PIPES, OR APPLIANCES, EXCEPT FOR CROSSINGS WHERE RACEWAYS SHALL BE AT LEAST 1 INCH FROM PIPE COVER.
- HORIZONTAL OR CROSS RUNS IN PARTITIONS OR WALLS ARE NOT PERMITTED.
- CONDUIT ENDS SHALL BE CUT SQUARE AND REAM SMOOTH. MALE THREADS OF FIELD THREADED CONDUIT SHALL BE PAINTED WITH GRAPHITE BASED PIPE COMPOUND AND DRAWN UP TIGHT WITH CONDUIT COUPLINGS.
- CONDUIT TO MOTOR TERMINAL BOXES SHALL BE CONNECTED WITH "SEALTITE" FLEXIBLE CONDUIT; MINIMUM 18 INCHES IN LENGTHS WITH 50 PERCENT SLACK. RACEWAYS SHALL NOT BE TERMINATED IN, OR FASTENED TO MOTOR FOUNDATION.
- SUFFICIENTLY LONG WIRE SLACK SHALL BE LEFT IN RUNS TO PERMIT MAKING PROPER FINAL CONNECTIONS. ALL EMPTY CONDUIT SHALL BE PROVIDED WITH #12 AWG STEEL DRAG WIRE.
- THE ELECTRICAL CONTRACTOR SHALL NOT INSTALL MORE THAN THE NUMBER OF CIRCUITS SHOWN IN ANY HOMERUN CIRCUIT.
- WIRE COLOR CODING SHALL CONFORM TO CODE REQUIREMENTS. WHERE COLOR-CODED CABLE IS NOT AVAILABLE, CERTIFY IN WRITING AND REQUEST PERMISSION FOR OVERLAP COLOR TAPING OF CONDUCTORS (MINIMUM LENGTH 6") IN ACCESSIBLE LOCATIONS. COLOR CODING, ONCE ESTABLISHED, MUST BE USED CONSISTENTLY FOR THE ENTIRE PROJECT.
- WIRING FOR ALL LOW VOLTAGE SYSTEMS SHALL BE RUN IN SPACES ABOVE CEILING. CABLE SHALL BE ADEQUATELY HARNESSED, BUNDLED AND TIED AT 4 FOOT INTERVALS BY INDIVIDUAL SYSTEMS AND MARKED WITH IDENTIFICATION TAGS. ALL LOW VOLTAGE SYSTEM WALL OUTLETS SHALL HAVE 1" CONDUIT EXTENDED INTO HUNG CEILING. WHERE WIRING HAS TO BE EXPOSED, IT SHALL BE INSTALLED IN EMT CONDUIT. TERMINATION OF WIRING FROM HUNG CEILING TO CENTRAL OR MAIN CABINETS SHALL ALSO BE INSTALLED IN EMT CONDUIT. LOW VOLTAGE WIRING IN CEILINGS USED AS AIR PLENUM SHALL BE TEFLON COATED, IN NON-AIR PLENUM CEILINGS IT SHALL BE INSTALLED IN CONDUIT.
- 2 # 14 INDICATING PILOT LIGHT WIRES SHALL BE EXTENDED FROM PILOT LIGHT IN CONTROLLER TO LOAD SIDE OF DISCONNECT SWITCH. THESE WIRES SHALL BE INCLUDED IN BRANCH CIRCUIT CONDUIT WHICH SHALL BE INCREASED IN SIZE IF REQUIRED.
- ALL EXIT SIGNS SHALL BE CONNECTED TO DEDICATED CIRCUITS AND CONNECTED TO DESIGNATED PANEL LOCKABLE TYPE CIRCUIT BREAKERS AS DIRECTED ON DRAWINGS.
- PROVIDE GROUND BONDING JUMPERS FOR ALL MECHANICAL EQUIPMENT METAL PIPING SYSTEM THAT MAY BECOME ENERGIZED. THE BONDING JUMPERS SHALL BE INSTALLED IN ACCORDANCE WITH NEC REQUIREMENTS.
- THE SECURITY CABLING AND DEVICES INSTALLATION IS EXCLUDED FROM THE EC SCOPE OF WORK. THE EC IS RESPONSIBLE FOR LINE VOLTAGE POWER TO SECURITY EQUIPMENT, PULL & BACK-BOXES AND EMPTY RACEWAY SYSTEM FOR ALL SECURITY DEVICES AND EQUIPMENT.
- THE DATA/COMMUNIAION CABLING AND DEVICES INSTALLATION IS EXCLUDED FROM THE EC SCOPE OF WORK. THE EC IS RESPONSIBLE FOR THE TELECOMMUNICATIONS PATHWAY INCLUDING THE WIRE CABLE TRAY, EMPTY CONDUIT, PULL & BACK-BOXES, AND WALL AND FLOOR SLEEVES.
- CONTRACTOR SHALL INCLUDE COMMISSIONING SERVICES ACCORDING TO THE 2014 NYC ENERGY CONSERVATION CODE SECTION C408. COMMISSIONING FOR THE APPROVED LIGHT FIXTURES SHALL BE DONE BY THE LIGHTING CONSULTANT.
- REFER ARCHITECTURAL PLANS FOR LIGHTING FIXTURE SPECIFICATIONS.

REV. NO. DATE REVISIONS

03/17/22 ISSUED FOR BID



RENOVATION SPACE

EXIT TO STREET

LOCATION PLAN NOT TO SCALE

Environmental Consultants
EPM, Inc.
 1983 Marcus Ave. Suite 109
 Lake Success, NY 11042 / (516) 328-1194

MEP Consultant
MG Engineering D.P.C.
 116 West 32nd Street
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Fashion Institute of Technology
Student Housing Corporation
 230 WEST 27TH STREET
 NEW YORK, NY 10001

David Smotrich & Partners LLP
 Architects/Planners

443 Park Avenue South
 New York, NY 10016
 212 889 4045 Fax 212 889 3672

PROJECT:
 CO-ED RESIDENCE HALL BATHROOM
 RENOVATIONS - 9TH-10TH FLOORS
 230 WEST 27TH ST
 NEW YORK NY 10001

DRAWING TITLE:

SYMBOL LIST, ABBREVIATIONS,
 NOTES & DETAILS

SEAL & SIGNATURE:

DATE: 03.15.2022
 PROJECT No: 15224.110
 DRAWING BY: K.B.
 CHK BY: K.B.
 DWG No:

E-001.00

SCALE AS NOTED 1 OF 8

NOT FOR CONSTRUCTION

16.01 GENERAL REQUIREMENTS

- A. THIS SPECIFICATION AND DRAWINGS ARE INTENDED TO SERVE JOINTLY AS A BASIS UPON WHICH THE CONTRACTOR SHALL SUBMIT A CONTRACT PRICE FOR MATERIAL AND LABOR PROVISIONS.
B. IT IS NOT INTENDED THAT THE PLANS OR SPECIFICATIONS SHOW OR STATE EVERY DETAIL OF THE WORK, BUT RATHER THAT THEY FURNISH ADEQUATE INFORMATION FOR AN EXPERIENCED CONTRACTOR TO MAKE A COMPLETELY ACCEPTABLE INSTALLATION.
C. BEFORE SUBMITTING PROPOSAL, EXAMINE ALL PLANS RELATING TO THIS WORK, VERIFY ALL GOVERNING CONDITIONS AT THE SITE, BECOME FULLY INFORMED AS TO THE EXTENT AND CHARACTER OF THE WORK REQUIRED AND ITS RELATION TO THE WORK OF OTHER TRADES.
D. PROPOSAL MUST INCLUDE EVERYTHING REQUIRED TO PROVIDE A COMPLETE INSTALLATION AS CONTEMPLATED IN A SPECIFICATIONS AND PLANS, WHETHER SPECIFICALLY SHOWN OR SPECIFIED OR NOT.
E. ANY DISCREPANCIES BETWEEN THESE SPECIFICATIONS AND THE ACCOMPANYING PLANS, OR THESE SPECIFICATIONS AND PLANS AND THE SPECIFICATIONS OF OTHER TRADES, SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT PRIOR TO THE SUBMISSION OF THE BID.
F. THIS CONTRACTOR SHALL BE RESPONSIBLE FOR HIS WORK WITH ITS COMPLETION AND FINAL ACCEPTANCE AND SHALL REPLACE ANY OF THE SAME WHICH MAY BE DAMAGED, LOST OR STOLEN, WITHOUT ANY ADDITIONAL COST TO THE OWNER.
G. THE WORK CALLED FOR IN THESE PLANS AND SPECIFICATION SHALL BE COORDINATED WITH THE STRUCTURE, WORK OF ALL RELATED TRADES, AND SHALL BE SO ARRANGED THAT THERE WILL BE NO DELAY IN THE PROPER INSTALLATION AND COMPLETION OF ANY PART OR PARTS OF EACH RESPECTIVE WORK.
H. ELECTRICAL DRAWINGS ARE DIAGRAMMATIC (EXCEPT WHERE DIMENSIONED) AND INDICATE THE GENERAL ARRANGEMENT OF SYSTEMS AND WORK.
I. EXACT LOCATION OF ALL EQUIPMENT, PANELS, PULL BOXES, FEEDERS, FIXTURES, ETC., SHALL BE APPROVED BY THE ARCHITECT, AND OWNER PRIOR TO THE INSTALLATION OF THE SAME.
J. EXPOSED CONDUITS CAN BE INSTALLED BUT IN NO CASE SHALL BE INSTALLED LESS THAN NINE FEET ABOVE THE FINISHED FLOOR OR A NOTED.
K. ANY NECESSARY ELECTRIC SERVICE INTERRUPTIONS SHALL BE AT A TIME CONVENIENT TO THE BUILDING OWNER.
L. ALL PENETRATIONS THROUGH SLABS AND FIRE RATED PARTITIONS SHALL BE FIRE STOPPED USING APPROVED METHOD TO MAINTAIN THE FIRE RESISTANCE RATING.

16.02 SCOPE OF WORK

- A. WITHOUT INTENDING TO LIMIT AND/OR RESTRICT THE VOLUME OF WORK REQUIRED AND SOLELY FOR THE CONVENIENCE OF THE CONTRACTOR, THE WORK OF THIS DIVISION SHALL, IN GENERAL COMPRISE THE FOLLOWING:
1. REMOVAL OF ELECTRICAL SYSTEM AS REQUIRED AND AS INDICATED ON PLANS.
2. MODIFICATION TO EXISTING ELECTRICAL SYSTEM, FURNISHING AND INSTALLING PANELBOARDS.
3. FURNISHING AND INSTALLING NEW LIGHTING FIXTURES AND LAMPS.
4. FURNISHING AND INSTALLING NEW CONDUITS, BRANCH CIRCUIT WIRING, ETC.
5. FURNISHING AND INSTALLING NEW RACEWAYS, OUTLET BOXES, WIRING AND CONNECTIONS FOR LIGHTING FIXTURES, SWITCHES, RECEPTACLES AND LOW TENSION OUTLETS.
6. CONNECTIONS TO ALL ELECTRICAL EQUIPMENT FURNISHED BY OTHER TRADES OR BY THE OWNER.
7. POWER WIRING FOR ALL MOTORS, INCLUDING INSTALLING ALL REQUIRED DISCONNECT SWITCHES AND MOUNTING OF STARTERS.
8. FURNISHING AND INSTALLING OF ALL TELEPHONE SYSTEM CONDUITS, SLEEVES AND BOXES.
9. TEMPORARY LIGHT AND POWER.
10. TESTING AND LOAD BALANCING.
11. GROUNDING.
12. REMOVAL AND RESTORATION OF EXISTING WORK.
13. CUTTING, CHANNELING, AND PATCHING.
14. FIRE ALARM SYSTEM.

16.03 WORK NOT INCLUDED

- A. FURNISHING MOTORS, MOTOR STARTER AND CONTROL DEVICES CONNECTED TO EQUIPMENT FURNISHED UNDER OTHER DIVISIONS OF THE SPECIFICATIONS. HOWEVER, ELECTRICAL CONTRACTOR WILL ERCT AND WIRE SAME, FURNISH AND INSTALL AUXILIARY MOTOR DISCONNECTS AS REQUIRED BY DRAWINGS OR CODE.
A. FINISH PAINTING.
B. MOTOR CONTROL WIRING AND ELECTRICAL INTERLOCKS (U.O.N.).
C. DATA/TELEPHONE WIRING AND DEVICES.
16.04 CODES PERMITS AND INSPECTIONS
A. ELECTRICAL WORK SHALL COMPLY WITH THE APPLICABLE REQUIREMENTS OF THE NEW YORK CITY ELECTRICAL CODES, OSHA CODE, AND OTHER AUTHORITIES EXERCISING JURISDICTION OVER ALL ELECTRICAL CONSTRUCTION WORK AND THE PROJECT.
B. NOTHING CONTAINED IN THESE SPECIFICATIONS OR PLANS SHALL BE SO CONSTRUED AS TO CONFLICT WITH ANY LOCAL, MUNICIPAL, AND NATIONAL BOARD OF THE FIRE UNDERWRITERS REGULATIONS GOVERNING THE INSTALLATION OF WORK SPECIFIED HEREIN.
C. ALL REQUIRED PERMITS AND INSPECTION CERTIFICATES SHALL BE OBTAINED, PAID FOR, AND MADE AVAILABLE, AT THE COMPLETION OF THE WORK.

16.05 GUARANTEES AND CERTIFICATIONS

- A. ALL WORK SHALL BE GUARANTEED TO BE FREE FROM DEFECTS, DEFECTIVE MATERIALS OR WORKMANSHIP, AS WELL AS DAMAGE TO THE WORK OF ANY/ALL TRADES RESULTING FROM THE SAME, SHALL BE REPLACED OR REPAIRED AS DIRECT FOR THE DURATION OF ONE YEAR, FROM THE DATE OF ACCEPTANCE.
B. THE DATE OF ACCEPTANCE SHALL BE THE DATE OF THE FINAL PAYMENT FOR THE WORK OR THE DATE OF A FORMAL NOTICE OF ACCEPTANCE, WHICHEVER IS EARLIER.
C. NON-DURABLE ITEMS, SUCH AS ELECTRIC LAMPS, SHALL BE REPLACED UP TO THE DATE OF ACCEPTANCE, SUCH THAT THEY SHALL HAVE HAD NO MORE THAN 100 HOURS USE PRIOR TO THIS DATE.

16.06 SHOP DRAWINGS AND EQUIPMENT SUBMISSIONS

- A. PRIOR TO PURCHASING ANY EQUIPMENT OR MATERIALS, A LIST OF THEIR MANUFACTURERS SHALL BE SUBMITTED FOR APPROVAL.
B. PRIOR TO ASSEMBLING OR INSTALLING THE WORK, CATALOG INFORMATION AND FACTORY ASSEMBLY DRAWINGS, AS REQUIRED FOR A COMPLETE EXPLANATION AND DESCRIPTION OF ALL FIXTURES, DEVICES AND ITEMS OF EQUIPMENT, SHALL BE SUBMITTED FOR APPROVAL.
C. FIELD INSTALLATION DRAWINGS AS REQUIRED TO EXPLAIN FULLY ALL PROCEDURES INVOLVED IN ERECTING, MOUNTING AND CONNECTING ALL ITEMS OF EQUIPMENT.
D. NO EQUIPMENT SHALL BE FABRICATED, DELIVERED, ERECTED OR RECONNECTED THAN FROM DRAWINGS APPROVED BY THE ENGINEER. SHOP DRAWINGS IN THE NUMBER DIRECTED SHALL BE SUBMITTED FOR THE FOLLOWING:
1. PANELBOARDS.
2. LIGHTING FIXTURES.
3. CIRCUIT BREAKERS.
4. WIRING DEVICES AND PLATES.
5. FIRE ALARM SYSTEM DEVICES AND RISER DIAGRAM.
E. IT SHALL BE UNDERSTOOD THAT APPROVAL OF DRAWINGS WILL NOT BIND THE ENGINEER OR THE OWNER TO THE FINAL ACCEPTANCE OF SUCH EQUIPMENT AS THE COMPLETED INSTALLATION AND TEST OF EQUIPMENT AS A WHOLE MUST BE PROVIDED AND GUARANTEED HEREIN AS SPECIFIED.

16.07 SAMPLES

- A. UPON REQUEST BY ARCHITECT OR OWNER, SUBMIT FOR APPROVAL ONE SAMPLE OF EACH OF THE FOLLOWING:
1. EACH TYPE OF LIGHTING FIXTURE.
2. EACH TYPE OF WIRING DEVICE.
3. EACH TYPE OF WIRING DEVICE PLATE.

16.08 RECORD DRAWINGS

- A. REPRODUCIBLE RECORD DRAWINGS SHALL BE SUPPLIED BY THE CONTRACTOR UPON WHICH CORRECTIONS SHALL BE MADE TO PROVIDE AS ACCURATE AND COMPLETE RECORD OF THE WORK AS INSTALLED.

16.09 MOUNTING HEIGHTS

- A. HEIGHTS OF WALL MOUNTED OUTLETS AND EQUIPMENT SHALL BE IN ACCORDANCE WITH THE FOLLOWING (UNLESS OTHERWISE NOTED). DIMENSIONS ARE ABOVE FINISHED FLOOR UNLESS OTHERWISE NOTED).
1. OUTLETS (RECEPTACLE AND TELEPHONE) IN WALLS, PARTITIONS OR COLUMNS TO CENTER LINE : 1'-3" IF MOUNTED HORIZONTALLY AND 1'-6" IF MOUNTED VERTICALLY.
2. SWITCH (TOGGLE) OUTLET IN WALLS, PARTITIONS OR COLUMNS - 3'-10" TO CENTER LINE.
3. INDIVIDUAL MOTOR STARTER - 5'-0" TO CENTER LINE.
4. FIRE ALARM PULL STATION - 3'-10" TO CENTER LINE.
5. GROUP MOUNTED (MOTOR STARTERS OR DISTRIBUTION SYSTEM SWITCHING DEVICES) 6'-6" MAXIMUM TO CENTER LINE OF HIGHEST PUSHBUTTON OR SWITCHING DEVICE HANDLE REQUIRING MANUAL OPERATION, 1'-0" MINIMUM TO BOTTOM OF LOWEST ENCLOSURE.
6. PANELBOARD - 6'-6" MAXIMUM TO CENTER LINE TO HIGHEST SWITCHING DEVICE HANDLE.
7. FIRE ALARM STROBE - 6'-8" TO CENTER LINE.
8. MOUNTING HEIGHTS OF PENDANT MOUNTED LIGHTING FIXTURES SHALL BE AS DIRECTED IN THE FIELD BY THE ARCHITECT OR AS INDICATED ON ARCHITECTURAL DRAWINGS.
B. DETAILS SHOWN ON ARCHITECTURAL DRAWINGS AND FIELD INSTRUCTIONS ISSUED BY THE ARCHITECT TAKE PRECEDENCE OVER THE ABOVE LIST AND SHALL BE ADHERED TO.

16.10 TESTS

- A. BEFORE AN APPLICATION FOR THE FINAL ACCEPTANCE OF THE WORK WILL BE CONSIDERED, ALL TESTS DEEMED NECESSARY BY THE ARCHITECT TO SHOW PROPER EXECUTION OF THE WORK SHALL HAVE BEEN PERFORMED AND COMPLETED IN THE PRESENCE OF AN ARCHITECT'S REPRESENTATIVE. SCHEDULE OF ALL TESTING PROCEDURES SHALL BE ARRANGED TO SUIT THE CONVENIENCE OF THE ARCHITECT.
B. ANY DEFECTS OR DEFICIENCIES DISCOVERED IN ANY OF THE ELECTRICAL WORK SHALL BE CORRECTED.
C. INSULATION RESISTANCE TESTS SHALL BE PERFORMED ON ALL RE-UTILIZED WIRING AND EQUIPMENT. MEASURED INSULATION RESISTANCE SHALL CONFORM TO REQUIREMENTS OF THE LATEST EDITION OF THE N.Y.C. ELECTRICAL CODE.

16.11 IDENTIFICATION

- A. ELECTRICAL CONTRACTOR SHALL FURNISH AND INSTALL TYPEWRITTEN DIRECTORIES BEHIND TRANSPARENT PLASTIC COVERS IN METAL FRAMES, IN ALL NEW AND EXISTING PANELS INDICATING TYPE AND LOCATION OF LOAD BEING SERVED BY INDIVIDUAL CIRCUIT BREAKERS.
B. ALL PARTS OF EQUIPMENT, SUCH AS PANELS, JUNCTION BOXES, SAFETY SWITCHES MOTOR STARTER, CIRCUIT BREAKERS, CONDUCTORS AND SIMILAR ITEMS SHALL BE IDENTIFIED BY NAME, AT SUPPLY END, "LOAD SUPPLIED" AND AT LOAD END, "LOAD SUPPLIED FROM".

16.12 EQUIPMENT AND MATERIALS

- A. ALL EQUIPMENT AND MATERIALS FOR PERMANENT INSTALLATION SHALL BE THE PRODUCTS OF RECOGNIZED MANUFACTURERS AND SHALL BE NEW.
B. NEW EQUIPMENT AND MATERIALS SHALL:
1. WHERE NORMALLY SUBJECTED TO UNDERWRITERS LABORATORY INC. LISTING OR LABELING SERVICES, BE SO LISTED OR LABELED.
2. BE WITHOUT BLEMISH OR DEFECT.
3. NOT TO BE USED FOR TEMPORARY LIGHT AND POWER PURPOSES WITHOUT ARCHITECT'S AUTHORIZATION.
4. BE IN ACCORDANCE WITH THE LATEST APPLICABLE N.E.M.A. STANDARD.
5. BE APPROVED BY BUILDING MANAGER OR OWNER.
C. FOR ITEMS WHICH ARE TO BE INSTALLED BUT NOT PURCHASED AS PART OF THE ELECTRICAL WORK, THE ELECTRICAL WORK SHALL INCLUDE:
1. THE COORDINATION OF THEIR DELIVERY.
2. THEIR FIELD MAKE-UP AND INTERNAL WIRING AS MAY BE NECESSARY FOR THEIR OPERATION.
D. ELECTRICAL RACEWAY AND SUPPORTING SYSTEMS SHALL BE FURNISHED AND INSTALLED COMPLETE, WITH ALL MATERIALS, FITTINGS, CONNECTIONS AND ACCESSORIES NECESSARY TO PROVIDE IN EACH INSTANCE, A COMPLETE OPERATING INSTALLATION, AS DESCRIBED HEREIN, AND INDICATED ON THE DRAWINGS, AND/OR AS APPROVED BY BUILDING MANAGER OR OWNER.

16.13 WIRING MATERIALS

- A. WIRE AND CABLE SHALL BE COPPER, RATED FOR 600 VOLTS, TYPE XHHN OR XHHW.
B. WIRE #10 AWG AND SMALLER SHALL BE SOLID, WIRE #8 AWG AND LARGER SHALL BE SINGLE CONDUCTOR STRANDED.
C. WIRING SHALL BE CONSISTENTLY COLOR CODED THROUGHOUT, RED, BLUE, BLACK FOR LINE (PHASE) CONDUCTORS AND WHITE FOR NEUTRAL CONDUCTOR, SWITCH LEG SHALL BE SEPARATELY IDENTIFIED. GROUND CONDUCTOR WHERE SPECIFIED SHALL BE GREEN.
D. MINIMUM SIZE:
1. LIGHTING AND POWER: #12 AWG, UNLESS OTHERWISE INDICATED.
2. CONTROL: #14 AWG.
3. CIRCUIT OVER 75 FEET IN LENGTH FROM THE POINT OF SUPPLY TO THE FIRST OUTLET SHALL BE #10 AWG.
E. SPLICES IN BRANCH CIRCUIT WORK SHALL BE MADE BY MEANS OF TYPE "R" "SCOTCHLOCK" CONNECTORS.
F. ELECTRICAL INSULATION TAPE SHALL BE VINYL PLASTIC TYPE WITH PRESSURE ADHESIVE "SCOTCH" ELECTRICAL TYPE.
G. ALL CONDUCTORS SHALL BE COLOR CODED THROUGHOUT AND NUMBERED AND TAGGED AT EACH JUNCTION BOX, PULL BOX, PANEL AND DEVICE WITH SUITABLE FIREPROOF TAGS OR ADHESIVE IDENTIFICATION BANDS.

16.14 CONDUITS AND RACEWAYS

- A. EXCEPT AS OTHERWISE INDICATED OR SPECIFIED, ALL WIRING INSIDE AND FOR FOUR FEET (4') BEYOND CONFINES OF ELECTRIC CLOSET SHALL BE INSTALLED IN EMT.
B. LIQUID TIGHT FLEXIBLE, GALVANIZED STEEL CONDUIT, WITH CONTINUOUS COPPER BONDING CONDUCTOR, SHALL BE USED FOR CONNECTIONS, NOT EXCEEDING 18" IN LENGTH, TO MOTORS AND AT OTHER LOCATIONS WHERE VIBRATION, MOVEMENT OR OIL VAPOR ATMOSPHERES ARE ENCOUNTERED.
C. UNLESS OTHERWISE INDICATED OR SPECIFIED, ALL WIRING SHALL BE INSTALLED CONCEALED IN CEILINGS, WALLS, SLABS, PIPE CHASES AND FURRED SPACES WHENEVER POSSIBLE.
D. CONDUIT AND FITTINGS SHALL CONFORM TO LATEST ACCEPTABLE NEW YORK CITY CODE AND ALL OTHER CODES HAVING JURISDICTION.
E. CONDUIT SHALL BE 3/4" TRADE SIZE MINIMUM, UNLESS OTHERWISE INDICATED OR SPECIFIED.
F. ALL CONDUITS WHICH ARE TO REMAIN EMPTY FOR FUTURE INTRODUCTION OF CONDUCTORS SHALL BE PROVIDED WITH A #12 NYLON DRAG WIRE WITH IDENTIFICATION TAG AT BOTH ENDS.
G. METAL CLAD CABLE (BX) CAN BE USED FOR LIGHTING AND APPLIANCE BRANCH CIRCUITRY IN VOIDS OF CEILING AND PARTITIONS, PROVIDED THAT THIS TYPE OF WIRING IS ACCEPTABLE TO THE BUILDING OWNER OR HIS REPRESENTATIVE, AND IN COMPLIANCE WITH GOVERNING ELECTRICAL CODE. VERIFY ALL OF THE ABOVE PRIOR TO SUBMITTAL OF BID PROPOSAL.

16.15 JUNCTION BOXES

- A. JUNCTION BOX AND PULL BOXES SHALL BE PROVIDED WHERE INDICATED OR SPECIFIED AND WHERE NECESSARY TO FACILITATE THE INSTALLATION OF EQUIPMENT OR WIRING.

16.16 OUTLET BOXES

- A. EACH OUTLET FOR LIGHTING FIXTURE, WALL SWITCH, WALL RECEPTACLE, TELEPHONE OR OTHER USE SHALL BE PROVIDED WITH AN OUTLET BOX SUITABLE FOR THE USE FOR WHICH THE OUTLET IS TO BE PUT AND TO THE LOCATION IN WHICH IT OCCURS, SECURED FIRMLY IN PLACE AND SET RUE AND SQUARE WITH THE FINISHED SURFACE.
B. CONNECTION TO RECESSED CEILING FIXTURES SUPPLIED WITH DIGITALS MAYBE ARRANGED SO THAT MORE THAN ONE BUT NOT MORE THAN FOUR, SUCH FIXTURES ARE CONNECTED INTO A SINGLE OUTLET BOX. NO FIXTURE SHALL BE SUPPLIED FROM AN OUTLET IN ANOTHER ROOM.
C. THROUGH WALL BOXES FOR BACK TO BACK WIRING NOT PERMITTED.
D. WHERE MORE THAN ONE WIRING DEVICE IS MOUNTED IN THE SAME LOCATION, SUCH DEVICE SHALL BE GANG MOUNTED UNDER A COMMON FACEPLATE.

16.17 FASTENINGS, SUPPORTS, AND HANGERS

- A. ALL PARTS OF THE ELECTRICAL INSTALLATION SHALL BE ADEQUATELY SUPPORTED FROM THE BUILDING CONSTRUCTION USING APPROVED CLAMP SCREWS WITH THE INSERTS OF EXPANSION ANCHORS, EXPANSION BOLTS AND TOGGLE BOLTS " IN NO CASE SHALL THE HUNG CEILING MEMBERS OR WIRES BE USED TO SUPPORT CONDUIT".
B. ALL FASTENING, SUPPORTS, CLAMPS, ANCHORS, AND SIMILAR ITEMS SHALL BE OF TYPE SUITABLE FOR THE PURPOSE.

16.18 WIRING DEVICES

- A. ALL DEVICES SHALL BE SPECIFICATION GRADE, U.L. APPROVED.
B. SINGLE POLE SWITCH, 20 AMP, 125 VOLTS.
C. DUPLEX RECEPTACLE, 20 AMP, 2 POLE, 3 WIRE, 125 VOLT, GROUND TYPE.
D. SINGLE RECEPTACLE, 20 AMP, 2 POLE, 3 WIRE, 125 VOLTS, GROUNDING TYPE, GFI WHERE REQUIRED.
E. COLOR AND TYPE OF ALL DEVICE PLATES SHALL BE APPROVED BY ARCHITECT PRIOR TO PURCHASE/ INSTALLATION.

16.19 PANELBOARD AND CABINETS

- A. EACH PANELBOARD SHALL BE PLACED IN A SUITABLE CODE GAUGE STEEL ENCLOSED BOX, BONDERIZED AND FINISHED WITH PRIME COAT AND A FINISHED COAT OF LIGHT GRAY BAKED ENAMEL.
B. MAIN BUS BARS INCLUDING FULL CAPACITY NEUTRAL WHERE INDICATED SHALL HAVE AN AMPERE RATING NOT LESS THAN THAT OF THE MAIN BREAKER OR LUGS.
C. DISTRIBUTION EQUIPMENT SHALL BE BRACED TO WITHSTAND THE AVAILABLE SHORT CIRCUIT CURRENT.

16.20 CIRCUIT BREAKERS

- A. CIRCUIT BREAKERS FOR PANEL OR INDIVIDUAL MOUNTING SHALL BE MOLDED CASE TYPE, BOLTED TYPE, QUICK-MAKE, QUICK-BREAK MANUAL OR AUTOMATIC OPERATION.
B. AMPERE RATING AND NUMBER OF POLES SHALL BE AS INDICATED ON THE DRAWINGS.
C. BREAKERS SHALL BE TYPE "ET" AS MANUFACTURED BY I.T.E. CIRCUIT BREAKER CO., OR APPROVED EQUAL, MINIMUM CIRCUIT BREAKER INTERRUPTING CAPACITY SHALL BE 22,000 SYM RMS AMPERES.

16.21 SAFETY SWITCHES

- A. SAFETY SWITCHES SHALL BE OF SIZE NOTED ON THE DRAWING, OR AS REQUIRED, FUSIBLE OR NON FUSIBLE AND EACH CONTAINED IN A GENERAL PURPOSE NEMA 1 ENCLOSURE. ALL SWITCHES SHALL BE HEAVY DUTY TYPE AND SHALL HAVE QUICK-MAKE, QUICK-BREAK MECHANISM.
B. ALL SWITCHES SHALL BE OF PROPER HORSEPOWER RATING AS APPLICABLE AND HAVE DUAL INTERLOCKS DESIGNED TO INTERLOCK THE SWITCH BOX DOOR WITH THE SWITCH OPERATING MECHANISM.

16.22 GROUNDING

- A. ALL ENCLOSURES AND OTHER NON CURRENT CARRYING METALLIC PARTS OF ELECTRICAL EQUIPMENT, RACEWAY SYSTEMS AND EQUIPMENT GROUND BUSES SHALL BE EFFECTIVELY GROUND TO THE BUILDING GROUNDING SYSTEMS THROUGH THE SYSTEM GROUND CONDUCTORS. METALLIC CONDUITS AND OTHER RACEWAYS AND ENCLOSURES FOR CONDUCTORS SHALL BE METALLICALLY JOINED TOGETHER INTO A CONTINUOUS ELECTRICAL CONDUCTOR, AS TO PROVIDE EFFECTIVE ELECTRICAL CONTINUITY.
B. EQUIPMENT LOCATED REMOTELY FROM THE GROUND CONDUCTORS SHALL BE GROUND TO THE NEAREST AVAILABLE COLD WATER PIPING. MOTOR FRAMES SHALL BE GROUND THROUGH THEIR CONDUITS.
C. GROUND CONTINUITY SHALL BE MAINTAINED THROUGHOUT.

16.23 LIGHTING FIXTURES

- A. ALL LIGHTING FIXTURES SHALL COMPLY WITH NYC ELECTRICAL CODE AND SHALL BE U.L. APPROVED.
B. ALL LIGHTING FIXTURES SHALL BE APPROVED PRIOR TO PURCHASE.
C. ALL LIGHTING FIXTURES SHALL BE FURNISHED AND INSTALLED COMPLETE WITH NECESSARY COMPONENTS, ACCESSORIES AND LAMPS OF CORRECT TYPE AND RATING, AS INDICATED ON ARCHITECT DRAWINGS.
D. FIXTURES SHALL BE CAREFULLY SUPPORTED AND ALIGNED WITH NECESSARY HANGERS, SUPPORTING MEMBERS AND PLASTER FRAMES FOR PROPER INSTALLATION, ALL AS REQUIRED AND AS APPROVED.
E. ALL FIXTURES SHALL BE PROPERLY WIRED AND CONNECTED TO BRANCH CIRCUITS, TESTED AND LEFT READY FOR OPERATION.
F. FOR TYPE, MAKE AND QUANTITIES OF LIGHTING FIXTURES REQUIRED SEE ARCHITECT'S DRAWINGS AND SPECIFICATIONS.
G. FIXTURES AND/OR FIXTURE OUTLET BOXES SHALL BE PROVIDED WITH HANGERS TO ADEQUATELY SUPPORT THE COMPLETE WEIGHT OF THE FIXTURE.
H. ALL LED LIGHTING FIXTURES SHALL HAVE ENERGY SAVING DRIVERS.
I. EXIT LIGHTS SHALL BE WIRED ON A SEPARATE CIRCUIT. PROVIDE CIRCUIT BREAKER WITH LOCKING TYPE HANDLE.

16.24 FINAL CLEAN-UP AND FIELD TESTS

- AFTER COMPLETION OF THE ENTIRE ELECTRIC INSTALLATION:
A. THE CONTRACTOR, BEFORE FINAL ACCEPTANCE, SHALL CLEAN ALL LIGHTING FIXTURES, DEVICE PLATES, SERVICE FITTINGS AND OTHER ITEMS FURNISHED UNDER THIS CONTRACT, AND SHALL ENSURE THAT ALL PANEL DIRECTORIES ARE IN PLACE, WITH COMPLETED OR REVISED SCHEDULES, AND ALL IDENTIFICATIONS AND MARKINGS OF EQUIPMENT, CABLES AND OTHER ITEMS, ARE COMPLETE.
B. THE CONTRACTOR SHALL REPAIR OR REPLACE, AS DIRECTED BY THE ENGINEER OR ARCHITECT, AT NO ADDITIONAL COST TO THE OWNER, ANY ITEM DAMAGED DUE TO INSTALLATION, RELOCATION OR REINSTALLATION.

16.25 FIELD TESTS AFTER COMPLETION OF ENTIRE ELECTRICAL INSTALLATION

- A. IN ADDITION TO OTHER TESTS WHICH MAY BE REQUIRED IN THE VARIOUS OTHER DISCIPLINES, PERFORM FIELD TESTS IN THE PRESENCE OF THE ENGINEER, TO DEMONSTRATE THE RELIABILITY OF THE ELECTRICAL INSTALLATION. PROVIDE THE ENGINEER WITH 48 HOURS ADVANCE NOTICE OF SUCH TESTS. AS A MINIMUM, THE FOLLOWING FIELD TESTS SHALL BE PERFORMED BY THE CONTRACTOR:
1) TEST AND OPERATE ALL ELECTRICAL LIGHTING CIRCUITS, MOTORS AND EQUIPMENT FOR A PERIOD OF 24 HOURS. ALSO, TEST ALL OUTLETS AND SWITCHES, UNLESS OTHERWISE DIRECTED BY THE ENGINEER. ANY DEFECTIVE ITEMS SHALL BE IMMEDIATELY REPAIRED OR REPLACED WITH NEW EQUIPMENT OR MATERIAL, AND THAT PORTION OF THE SYSTEM SHALL BE RETESTED. ALL SUCH REMEDIAL WORK SHALL BE PROVIDED AT NO ADDITIONAL COST TO THE OWNER.
2) AFTER THE INSTALLATION OF THE ELECTRICAL WORK IS COMPLETE, AND AT SUCH TIME AS THE OWNER MAY DIRECT, THE CONTRACTOR SHALL CONDUCT AN OPERATING TEST FOR APPROVAL. THE INSTALLATION SHALL BE DEMONSTRATED TO OPERATE IN ACCORDANCE WITH THE REQUIREMENTS OF THIS SPECIFICATION. TESTS SHALL BE PERFORMED IN THE PRESENCE OF THE ENGINEER. THE CONTRACTOR SHALL FURNISH ALL INSTRUMENTS AND PERSONNEL REQUIRED FOR TEST AND THE OWNER WILL FURNISH THE NECESSARY ELECTRICAL POWER.
3) THE CONTRACTOR SHALL PERFORM ALL WORK NECESSARY TO OBTAIN APPROVALS FROM THE ENGINEER AND THE INSPECTING AUTHORITIES WITHOUT ADDITIONAL COST TO THE OWNER.
4) COMPLETE SYSTEM TEST OF FIRE ALARM, SECURITY AND OTHER SYSTEMS IN THE PRESENCE OF ALL APPROPRIATE PARTIES. SHOULD THE FOREGOING TEST REVEAL ANY DEFECTS, PROMPTLY CORRECT SUCH DEFECTS AND RE-RUN THE TESTS UNTIL THE ENTIRE INSTALLATION IS SATISFACTORY IN ALL RESPECTS.

16.26 RECORD DRAWINGS-AS BUILTS

- A. DURING THE CONSTRUCTION OF THE PROJECT, THE CONTRACTOR SHALL KEEP A RECORD OF MODIFICATIONS TO THE CONSTRUCTION DOCUMENTS. AT THE CONCLUSION OF THE PROJECT, THE CONTRACTOR SHALL SUBMIT A PRINT OF THE FINAL "AS-BUILT CONSTRUCTION DRAWINGS" FOR REVIEW. AFTER REVIEW, THE CONTRACTOR SHALL SUBMIT ONE BLACKLINE PRINT, ONE MYLAR AND COMPACT DISK, CONTAINING THE DRAWINGS IN AUTOCAD VERSION 2000, DRAWING FILE FORMAT. THE USE OF SHOP DRAWINGS WILL NOT CONSTITUTE AS "AS-BUILTS."
B. THE DRAWINGS SHALL SHOW ALL ELECTRICAL WORK INSTALLED, WHETHER SHOWN ON ENGINEERING DRAWINGS OR NOT INCLUDING MODIFICATIONS AND/OR ADDITIONS TO THE ORIGINAL DESIGN, DIMENSIONAL INFORMATION TO LOCATE ANY BURIED OR CONCEALED CONDUIT WORK.
C. "AS-BUILT" DRAWINGS SHALL INCLUDE A BOXED OR UNDERLINED NOTE ON EACH DRAWING, STATING:
* AS-BUILT DRAWING
* DATE
* NAME OF COMPANY
* SIGNATURE OF RESPONSIBLE COMPANY REPRESENTATIVE
D. AS PART OF THESE REQUIREMENTS, A COMPLETE SET OF "AS-BUILT" OR RECORD DRAWINGS, SHALL BE PRODUCED AND DELIVERED TO THE ARCHITECT OR OWNER, AS DIRECTED.

16.27 TEMPORARY LIGHT AND POWER

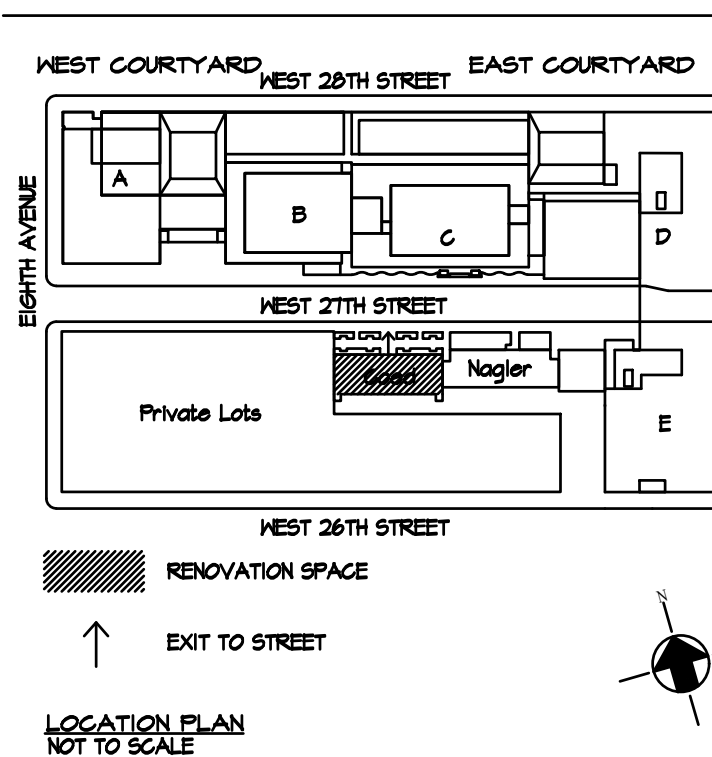
- A. PROVIDE TEMPORARY LIGHT AND POWER FOR ALL TRADES UNTIL SUCH TIME AS THE FINAL ELECTRICAL WORK IN EACH AREA OR ZONE OF CONSTRUCTION IS COMPLETED AND AVAILABLE. TEMPORARY LIGHTING AND POWER STRINGERS SHALL UTILIZE C-TAP TERMINATIONS. LAMP HOLDERS SHALL HAVE LEFT-HANDED SCREW SHELL LAMP HOLDERS AND NEW LAMP GUARDS. ALL TEMPORARIES SHALL INCLUDE GFI PROTECTION.
B. TEMPORARY LIGHTING AND POWER AND MUST BE INSTALLED AND MAINTAINED IN ALL WORK AREAS, THROUGHOUT THE ENTIRE PROJECT. BULBS SHALL NOT EXCEED 30 FEET AND 100 WATT BULBS SHALL BE INSTALLED. ALL TEMPORARY LIGHTING AND POWER MUST BE REMOVED UPON COMPLETION OF PROJECT.

16.28 GUARANTEE

- A. THE CONTRACTOR SHALL GUARANTEE ALL WORK AND MATERIALS FOR A PERIOD OF ONE YEAR FROM THE ACCEPTANCE OF THE PROJECT AGAINST DEFECTIVE MATERIALS OR WORKMANSHIP.

rev. no. date revisions

Table with 3 columns: rev. no., date, revisions. Contains one entry: 03.15.2022 ISSUED FOR BID



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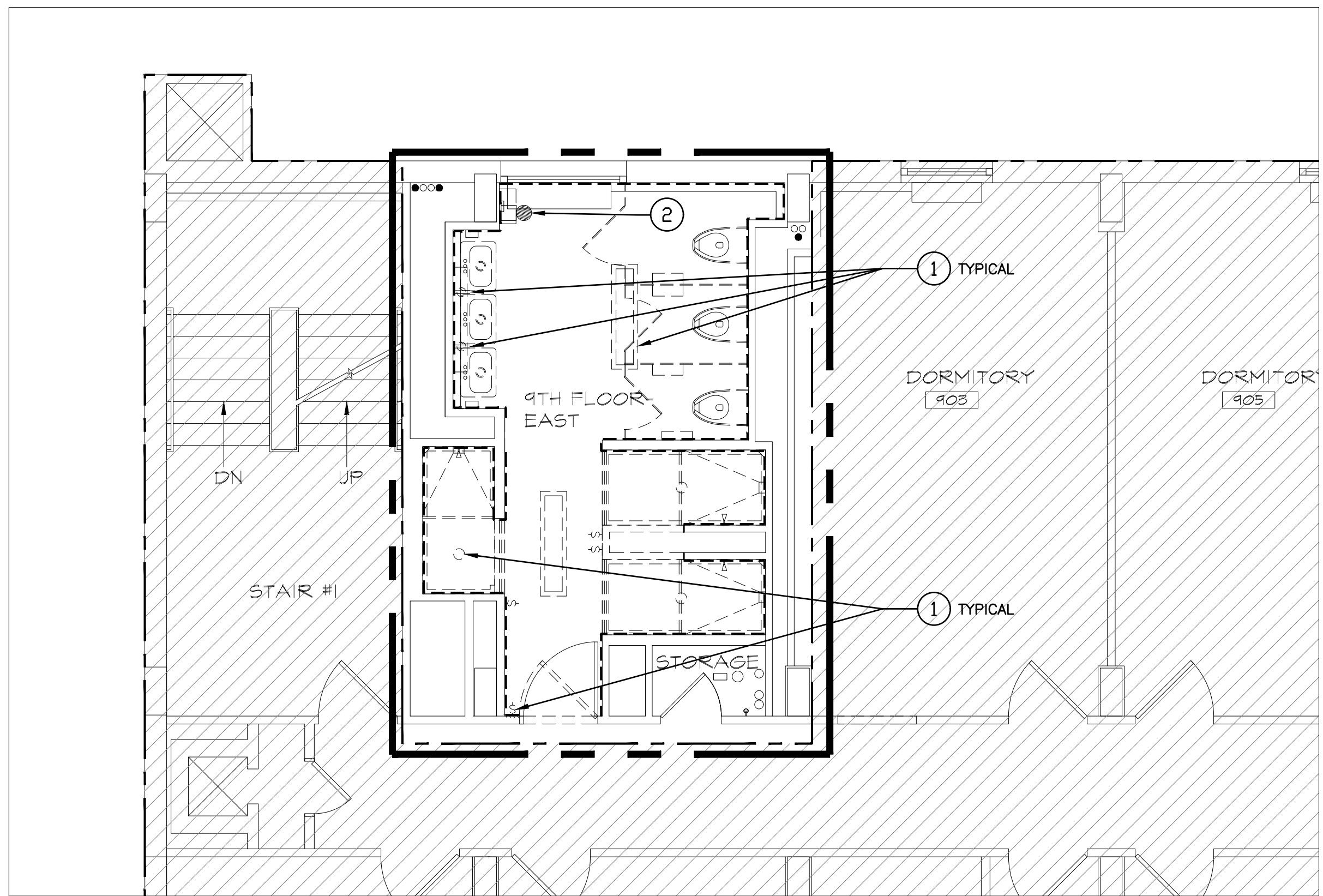
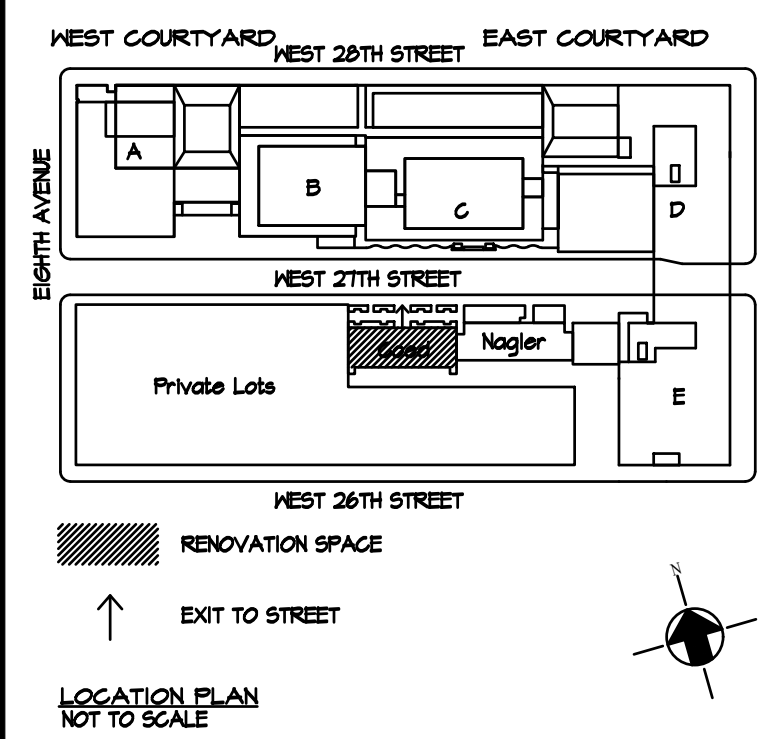
PROJECT:
CO-ED RESIDENCE HALL BATHROOM
RENOVATIONS - 9TH-10TH FLOORS
230 WEST 27TH ST
NEW YORK NY 10001

DRAWING TITLE:
ELECTRICAL
SPECIFICATIONS

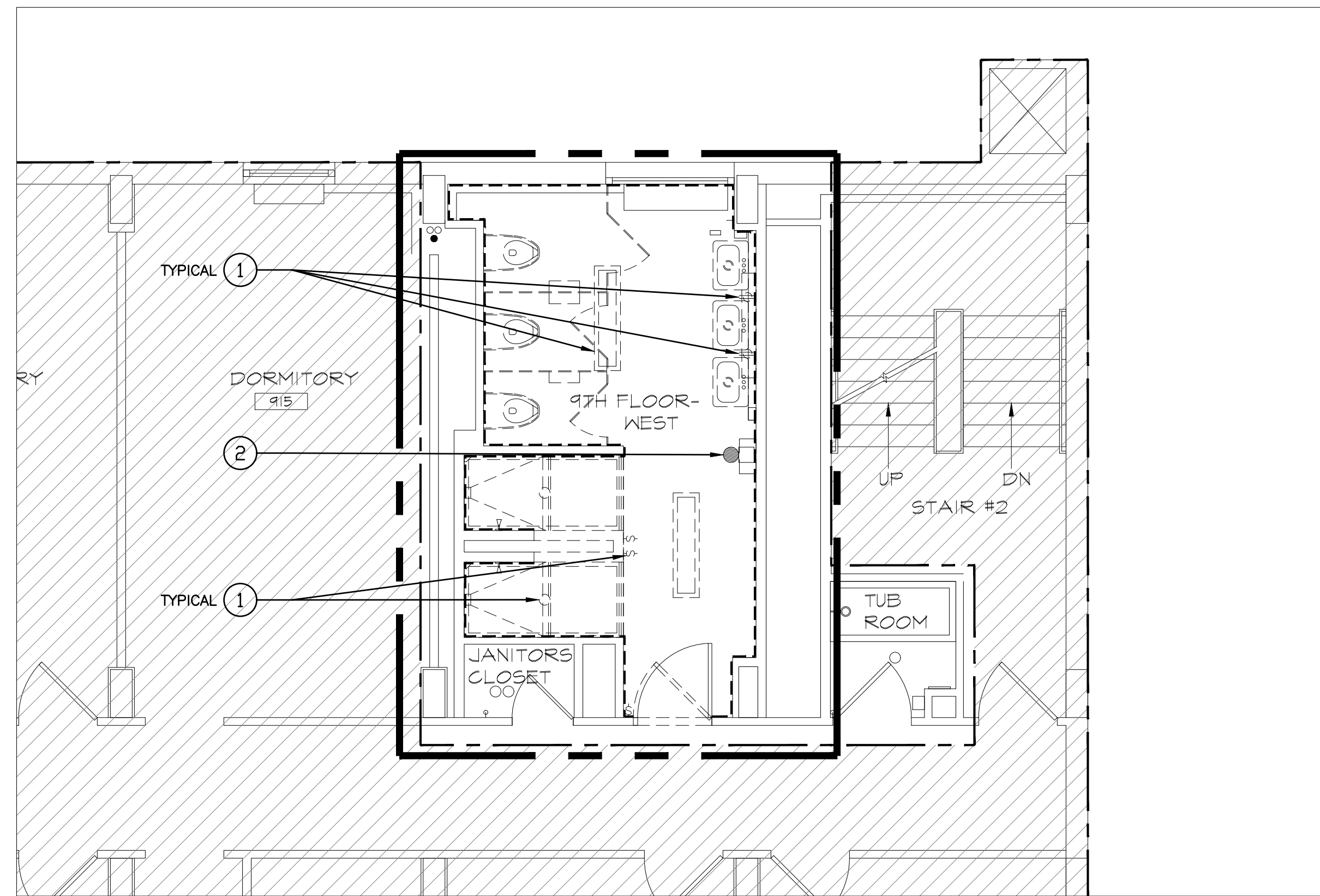
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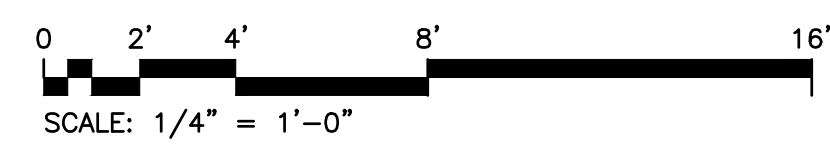
1 PART PLAN DEMOLITION TYPICAL - FOR 9TH AND 10TH FLOORS EAST SIDE BATHROOMS (3)(4)(5)(6)(7)
E-011 SCALE: 1/4" = 1'-0"



2 PART PLAN DEMOLITION TYPICAL - FOR 9TH AND 10TH FLOORS WEST SIDE BATHROOMS (3)(4)(5)(6)(7)
E-011 SCALE: 1/4" = 1'-0"

REMOVAL NOTES:

- 1 DISCONNECT AND REMOVE EXISTING LIGHTING FIXTURES AND WIRING DEVICES. IDENTIFY AND LABEL EXISTING BRANCH CIRCUIT WIRING. EXISTING BRANCH CIRCUIT WIRING SHALL BE REUSED WITHIN THE SCOPE OF THIS PROJECT.
- 2 REMOVED EXISTING FIRE ALARM DEVICE FROM ITS EXISTING INSTALLED LOCATION. LOCATE DEVICE AWAY FROM PARTITION TO PROTECT DEVICE DURING DEMOLITION AND NEW CONSTRUCTION OF PARTITION. DEVICE SHALL MAINTAIN ITS CONTINUITY WITHIN THE EXISTING FIRE ALARM CIRCUIT WIRING.
- 3 MAINTAIN THE CONTINUITY OF CIRCUIT WIRING FOR EXISTING DEVICES THAT REMAIN AND CIRCUIT WIRING IN DEMOLITION AREA WHICH CONNECT INTO ADJACENT AREA TO LIGHTING AND DEVICES. WHERE EXISTING OUTLETS ARE REMOVED AND ARE NOT AT THE CIRCUIT DEAD END, PICK UP AND EXTEND WIRING AND CONDUIT TO EXISTING OUTLETS WHICH ARE STILL IN USE.
- 4 ALL CONDUITS AND WIRING PROTRUDING THROUGH FLOOR BECAUSE OF REMOVED PARTITIONS SHALL BE CUT FLUSH WITH FLOOR LINE AND PATCHED.
- 5 ALL OUTLETS, CONDUITS, WIRING AND ALL OTHER ELECTRICAL WORK IN REVISED AREAS NOT SHOWN THAT INTERFERE WITH THE NEW CONSTRUCTION, DUCTS, PIPING AND NEW LIGHTING, ETC., SHALL BE REMOVED. ALL OTHER ELECTRICAL WORK NOT IN USE, AND NOT INTERFERING WITH THE THE NEW CONSTRUCTION, MAY BE ABANDONED, BUT NO LIVE WIRES SHALL BE LEFT IN PLACE.
- 6 ALL EXISTING PANELS AFFECTED SHALL HAVE THEIR DIRECTORIES CORRECTED, AND EXISTING CIRCUITS VERIFIED. ALL EXISTING PANELS AFFECTED SHALL HAVE THEIR DIRECTORIES CORRECTED, AND EXISTING CIRCUITS VERIFIED.
- 7 ADVISE BUILDING MANAGEMENT IN WRITING 72 HOURS IN ADVANCE, AND OBTAIN WRITTEN PERMISSION FOR ANY ELECTRICAL SHUTDOWNS REQUIRED FOR THIS WORK.



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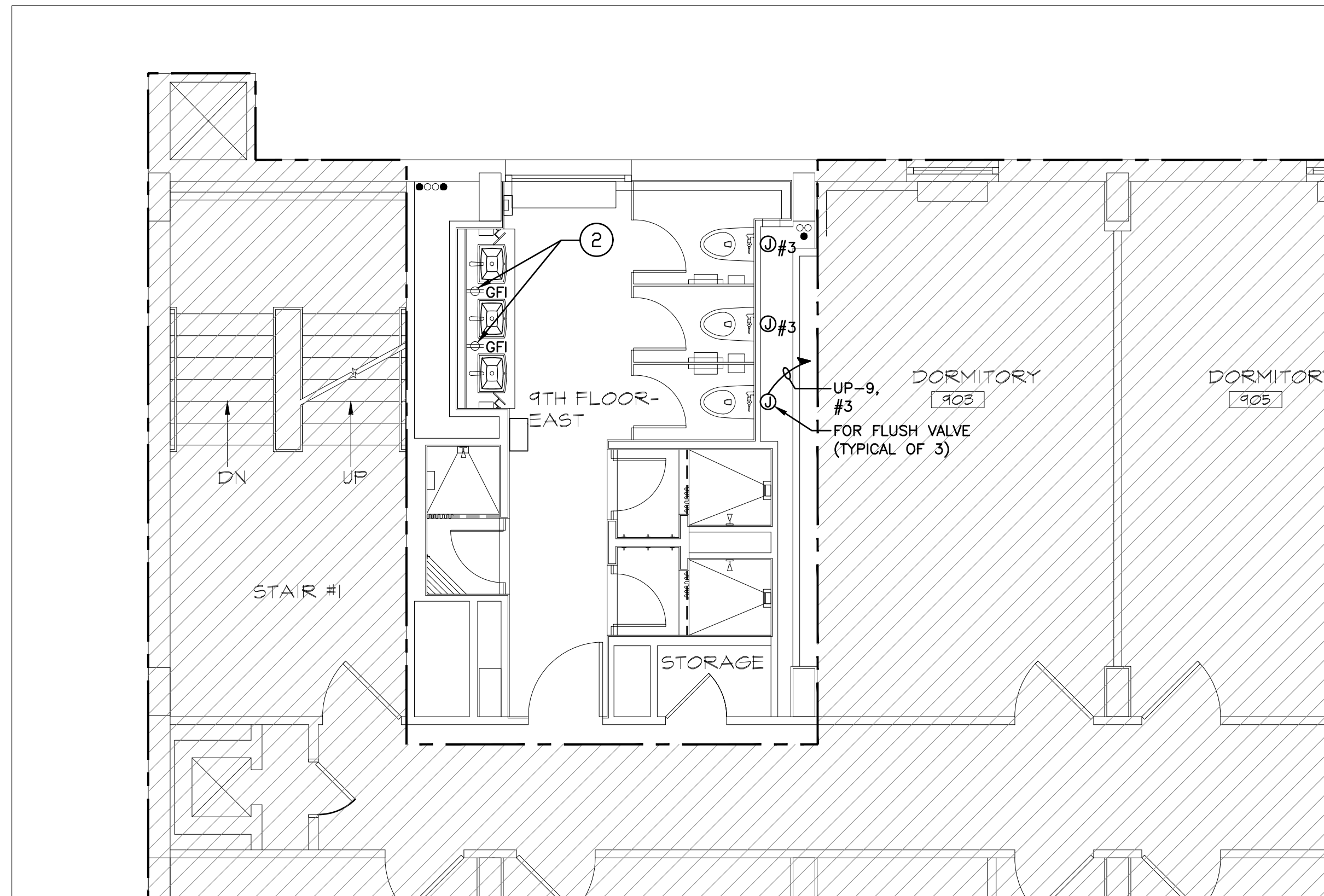
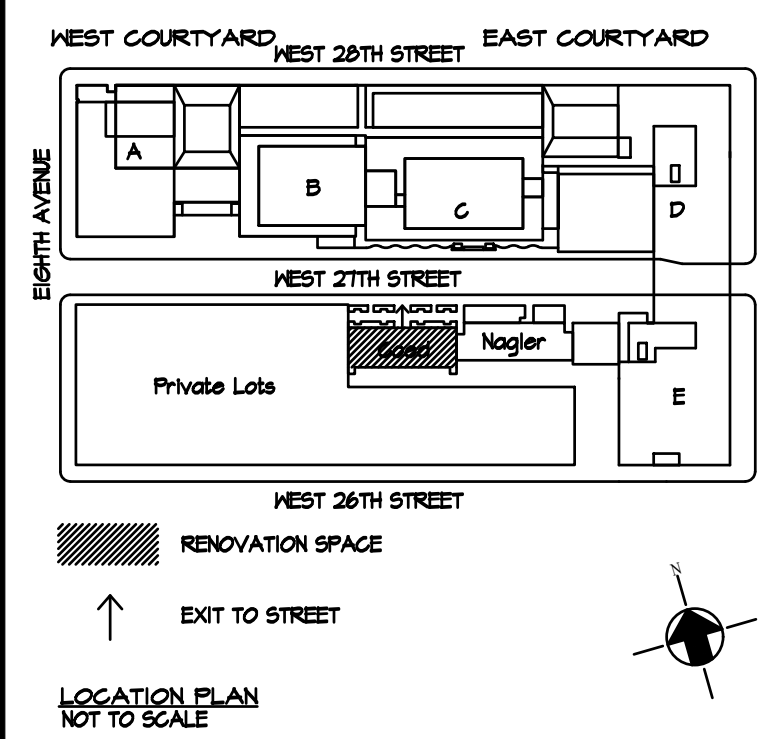
CO-ED RESIDENCE HALL BATHROOM
RENOVATIONS - 9TH-10TH FLOORS
230 WEST 27TH ST
NEW YORK NY 10001

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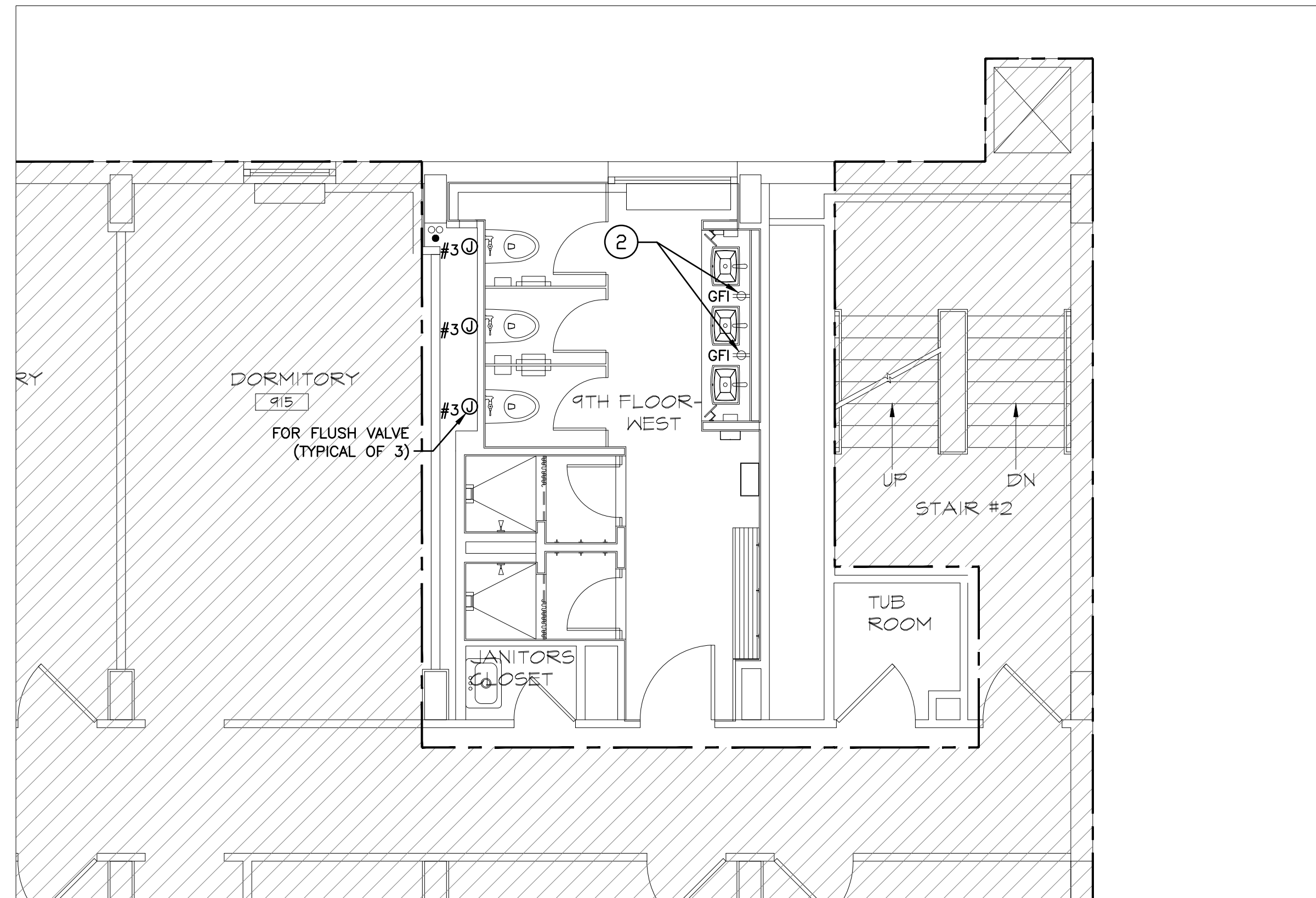
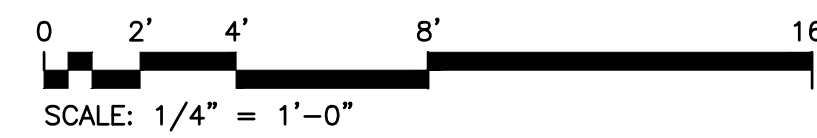
9TH AND 10TH FLOORS
DEMOLITION PART PLANS

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	CHK BY: K.B.
	DWG No:
	E-011.00
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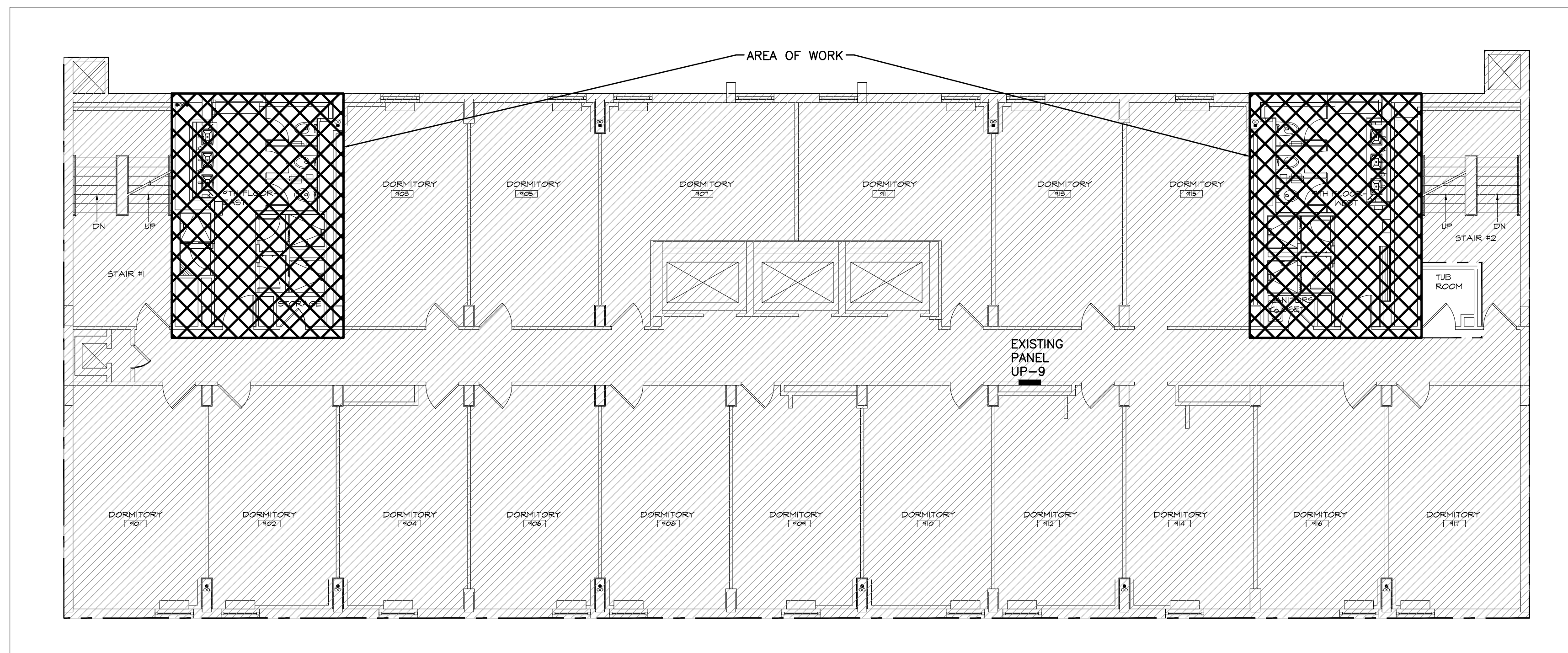
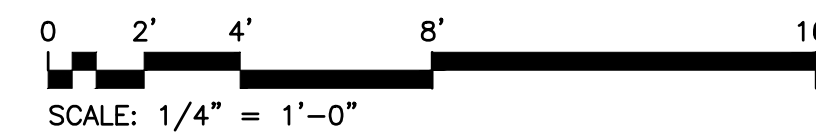
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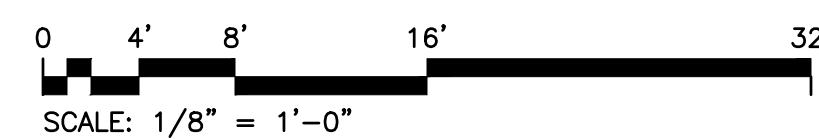
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E-101 SCALE: 1/4" = 1'-0"



2 PART PLAN POWER TYPICAL - FOR 9TH FLOOR WEST SIDE BATHROOM ①③④⑤
E-101 SCALE: 1/4" = 1'-0"



3 PART PLAN POWER TYPICAL - FOR 9TH FLOOR
E-101 SCALE: 1/8" = 1'-0"



POWER NOTES:

- ① FOR EXACT MOUNTING LOCATIONS OF WIRING DEVICES REFER TO ARCHITECT'S PLANS.
- ② PROVIDE NEW DUPLEX RECEPTACLES (GFI TYPE), INSTALL IN LOCATION INDICATED.
- ③ COORDINATE WITH MECHANICAL CONTRACTOR FOR THE EXACT LOCATION AND MOUNTING HEIGHTS OF ALL EQUIPMENT AND ELECTRICAL CONNECTIONS. CONTRACTOR TO PROVIDE NEW DEVICES WITH NEW BRANCH CIRCUIT WIRING.
- ④ CIRCUIT NUMBERS ARE INDICATED FOR INTENT ONLY. THE ELECTRICAL CONTRACTOR SHALL ADJUST ACCORDINGLY IN THE FIELD, TO BALANCE THE CIRCUITS EVENLY ON ALL PHASES IN THE PANEL.
- ⑤ ALL BRANCH CIRCUITS SHALL ORIGINATE IN 'UP-9'. PROVIDE 2#12 AND 1-#12G-3/4"C TO A 20A/1P CIRCUIT BREAKER INDICATED PANEL UNLESS OTHERWISE NOTED.

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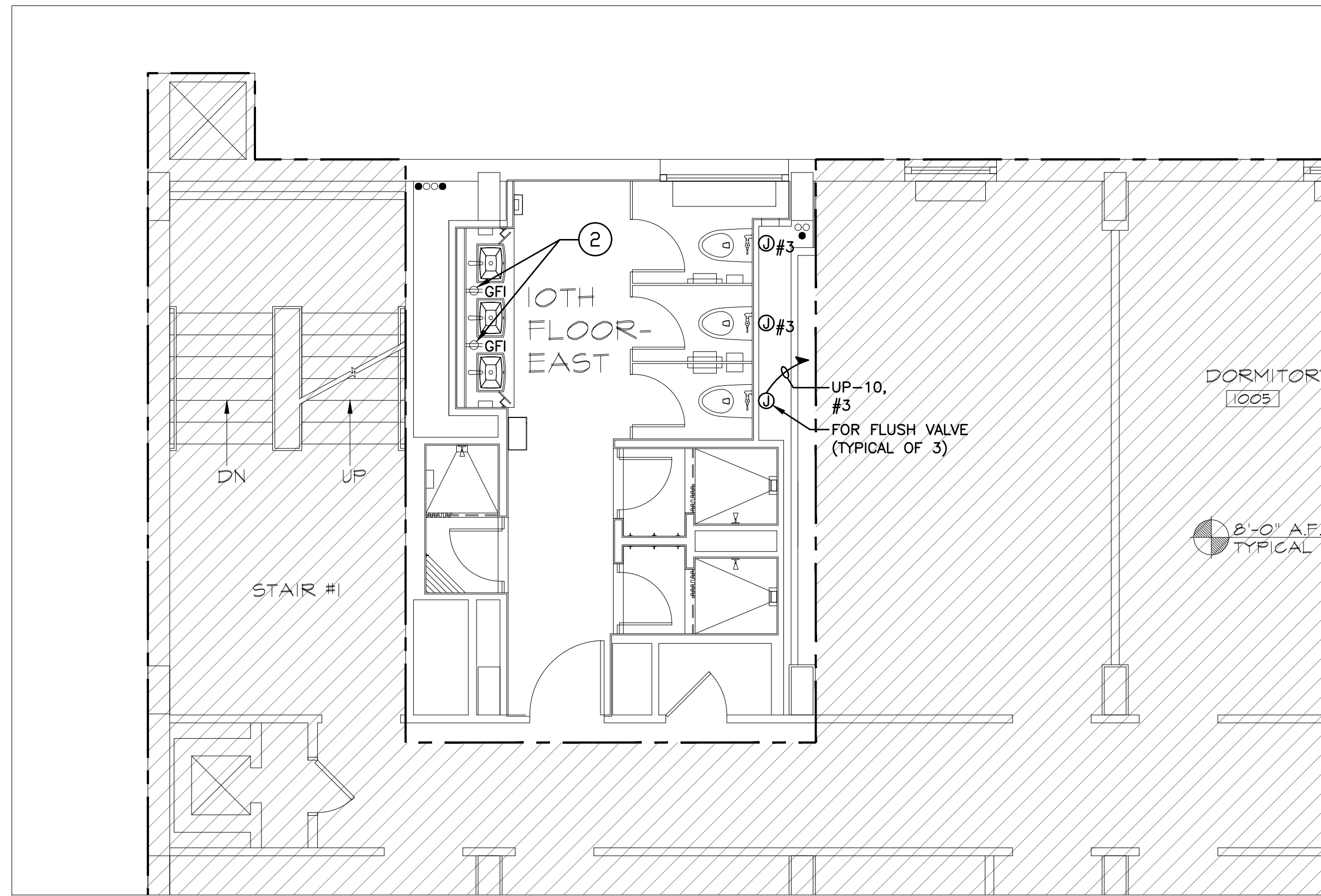
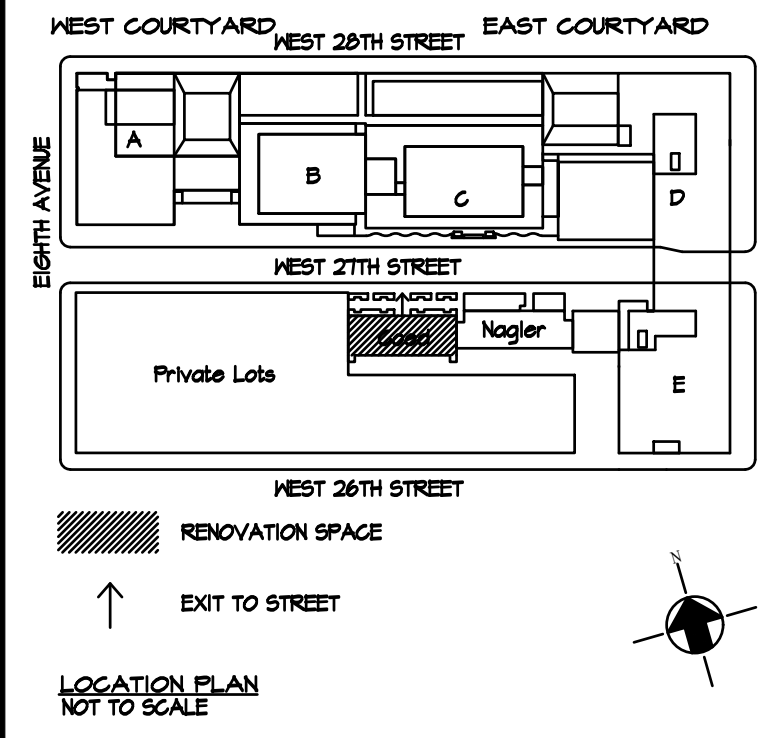
PROJECT:
CO-ED RESIDENCE HALL BATHROOM
RENOVATIONS - 9TH-10TH FLOORS
230 WEST 27TH ST
NEW YORK NY 10001

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PART PLAN

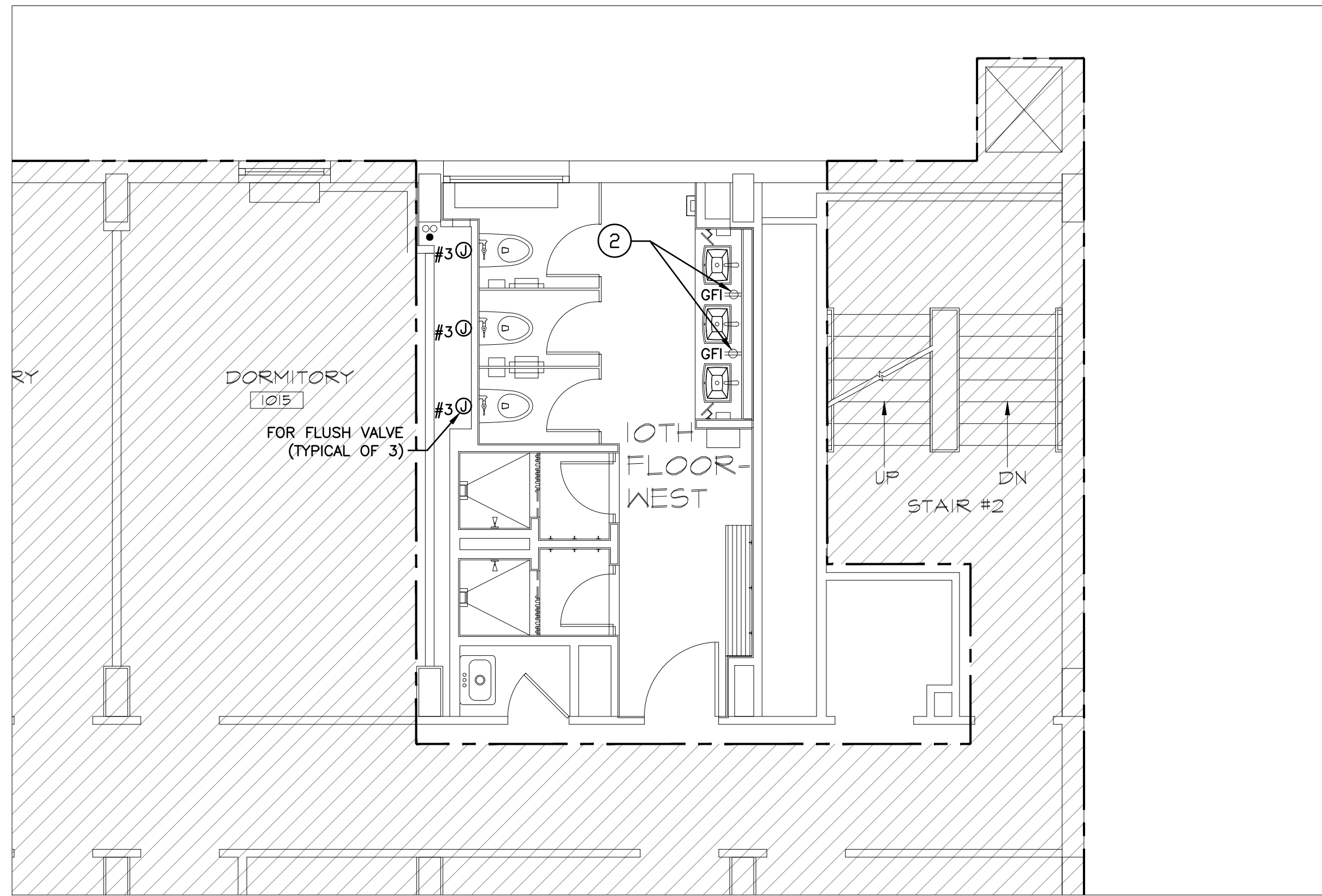
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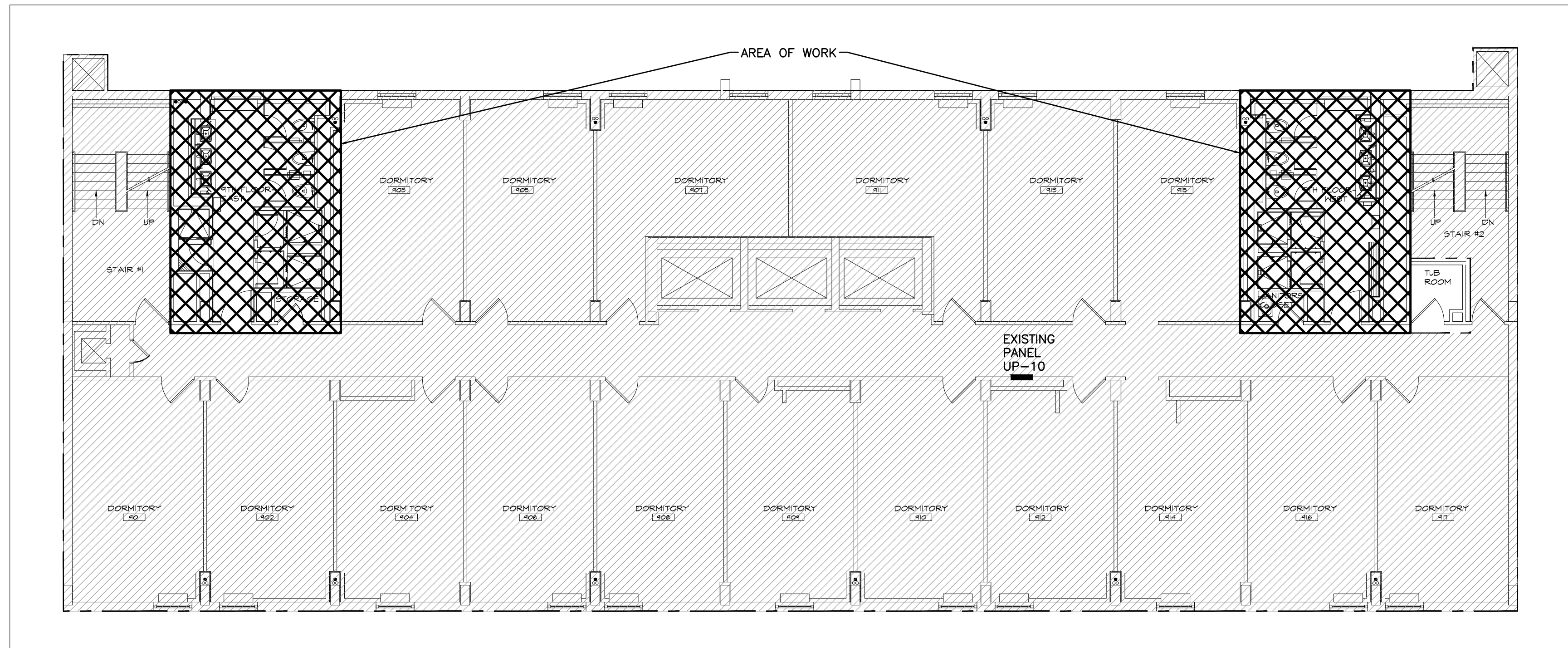
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1 PART PLAN POWER TYPICAL - FOR 10TH FLOOR EAST SIDE BATHROOM 1 3 4 5
E-101 SCALE: 1/4" = 1'-0"



2 PART PLAN POWER TYPICAL - FOR 10TH FLOOR WEST SIDE BATHROOM 1 3 4 5
E-101 SCALE: 1/4" = 1'-0"



3 PART PLAN POWER TYPICAL - FOR 10TH FLOOR
E-101 SCALE: 1/8" = 1'-0"

POWER NOTES:

- 1 FOR EXACT MOUNTING LOCATIONS OF WIRING DEVICES REFER TO ARCHITECT'S PLANS.
- 2 PROVIDE NEW DUPLEX RECEPTACLES (GFI TYPE), INSTALL IN LOCATION INDICATED.
- 3 COORDINATE WITH MECHANICAL CONTRACTOR FOR THE EXACT LOCATION AND MOUNTING HEIGHTS OF ALL EQUIPMENT AND ELECTRICAL CONNECTIONS. CONTRACTOR TO PROVIDE NEW DEVICES WITH NEW BRANCH CIRCUIT WIRING.
- 4 CIRCUIT NUMBERS ARE INDICATED FOR INTENT ONLY. THE ELECTRICAL CONTRACTOR SHALL ADJUST ACCORDINGLY IN THE FIELD, TO BALANCE THE CIRCUITS EVENLY ON ALL PHASES IN THE PANEL.
- 5 ALL BRANCH CIRCUITS SHALL ORIGINATE IN 'UP-10'. PROVIDE 2#12 AND 1-#12G-3/4"C TO A 20A/1P CIRCUIT BREAKER INDICATED PANEL UNLESS OTHERWISE NOTED.

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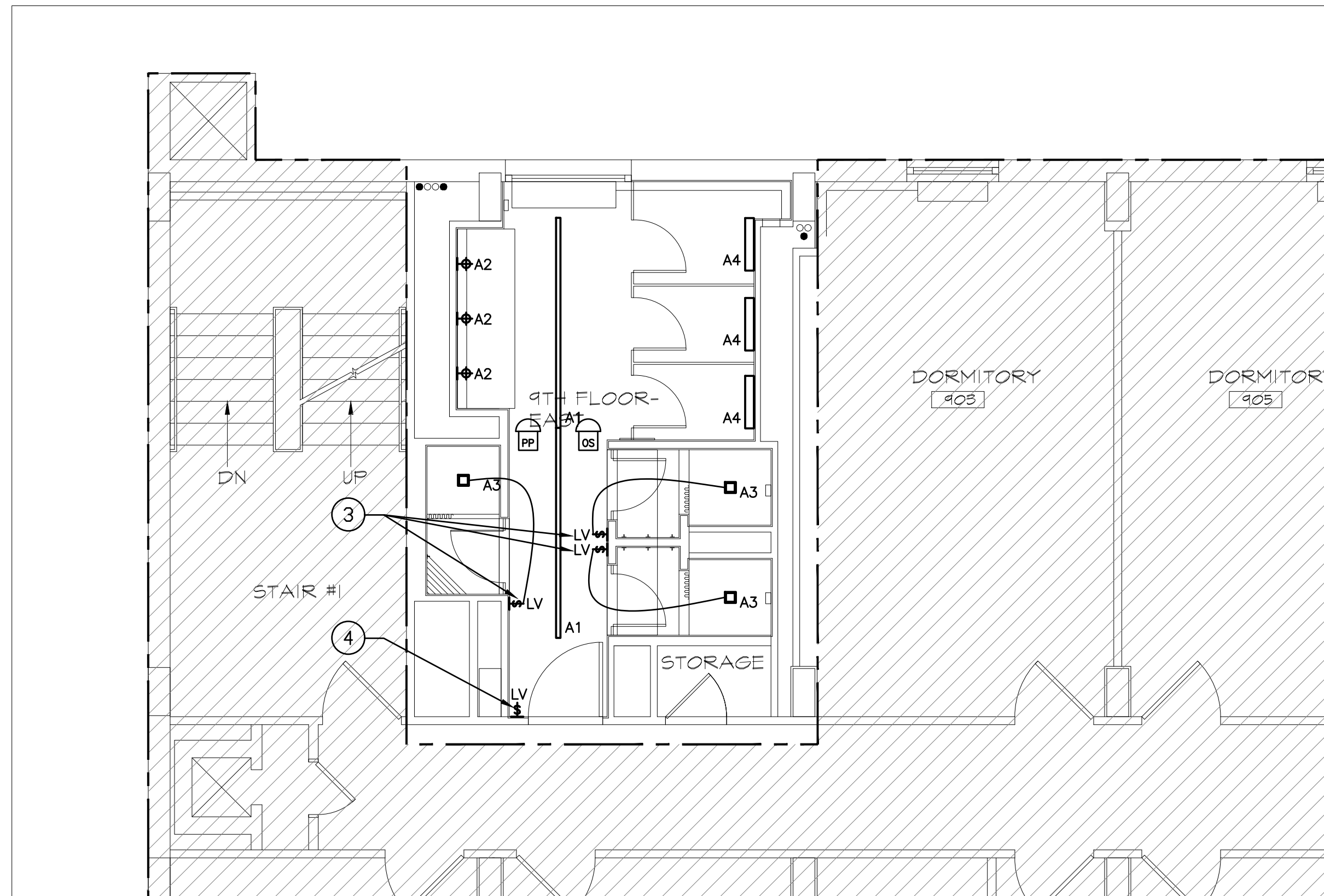
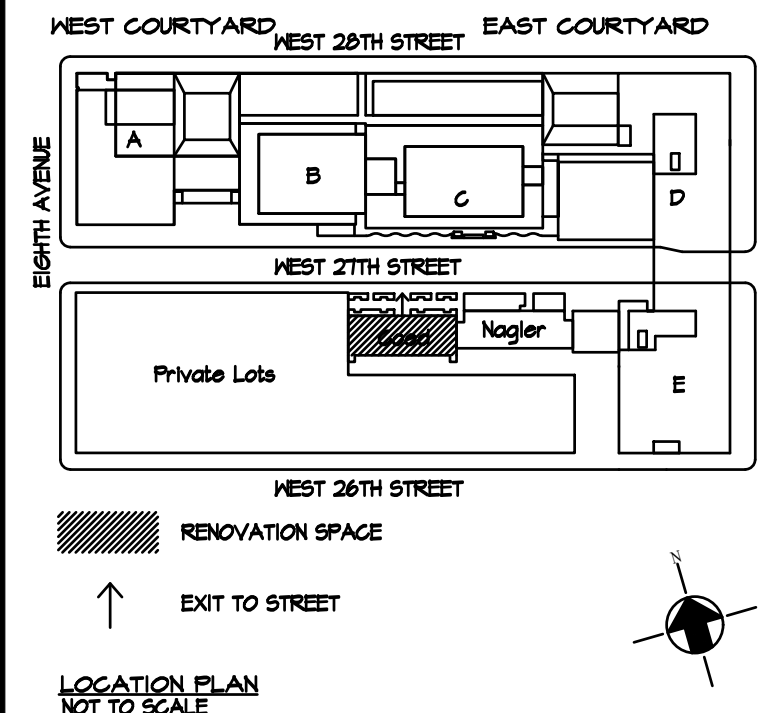
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PROJECT:
CO-ED RESIDENCE HALL BATHROOM
RENOVATIONS - 9TH-10TH FLOORS
230 WEST 27TH ST
NEW YORK NY 10001

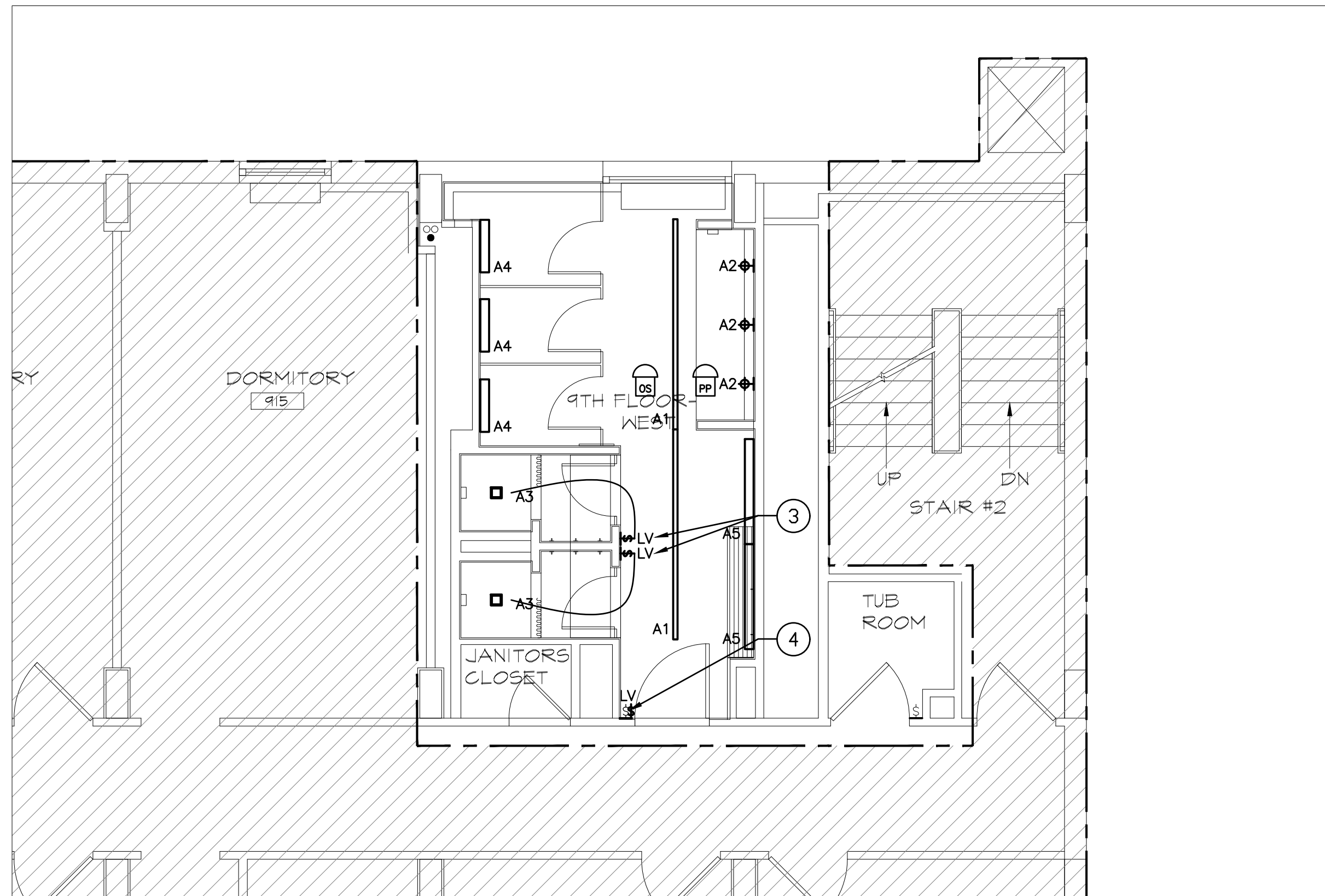
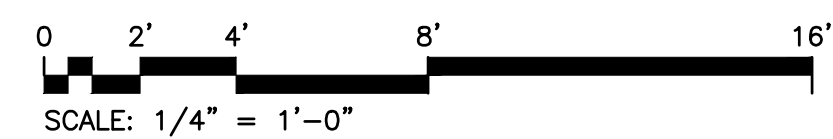
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PART PLAN

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	DWG No:
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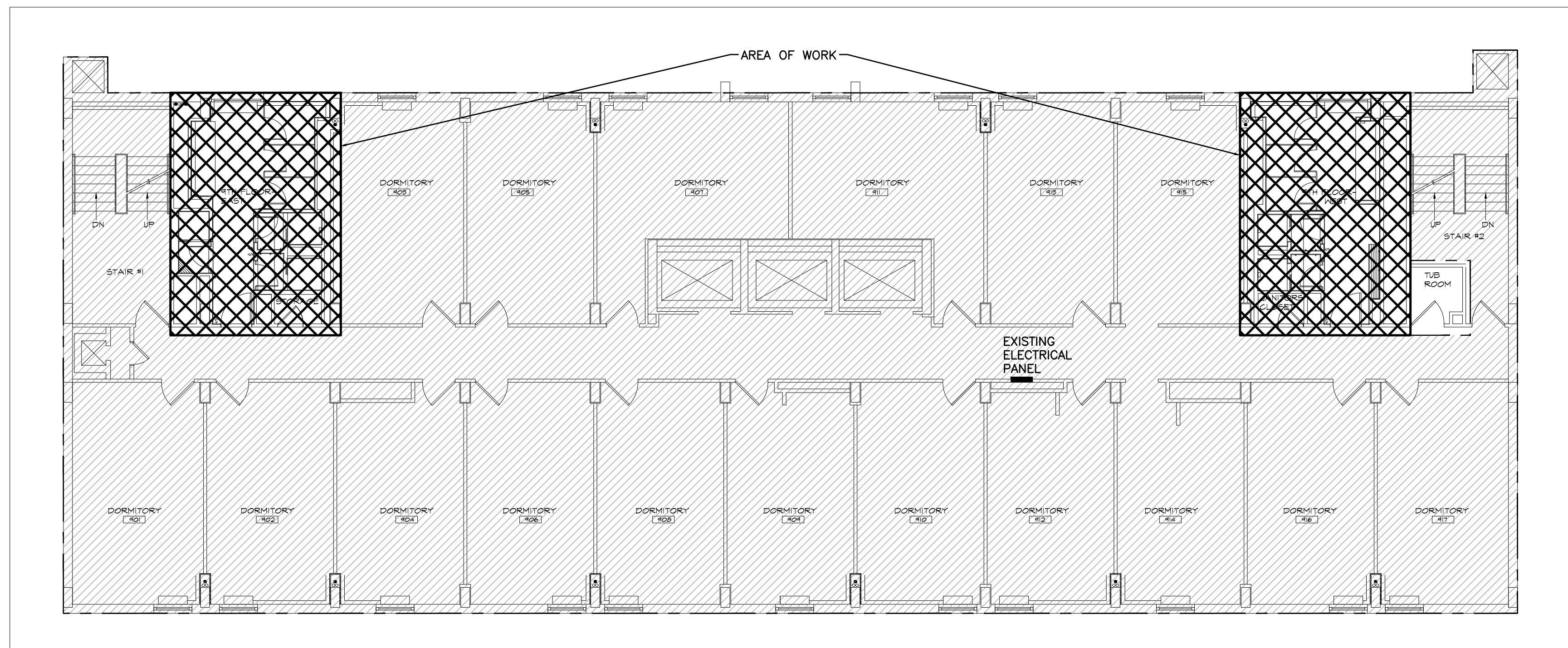
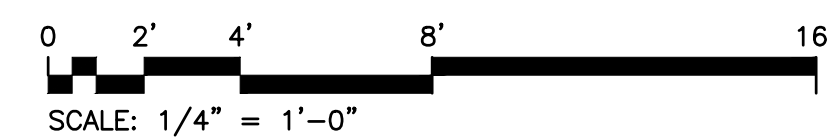
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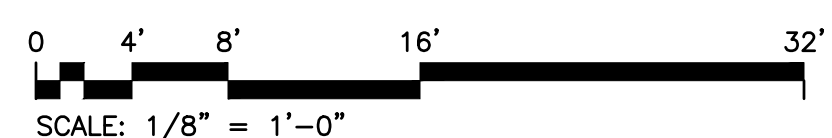
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 E-101 SCALE: 1/4" = 1'-0"



2 PART PLAN LIGHTING TYPICAL - FOR 9TH FLOOR WEST SIDE BATHROOM (1) (2)
 E-101 SCALE: 1/4" = 1'-0"



3 PART PLAN LIGHTING TYPICAL - FOR 9TH FLOOR
 E-101 SCALE: 1/8" = 1'-0"



LIGHTING NOTES:

- 1 FOR EXACT MOUNTING LOCATIONS OF LIGHTING FIXTURES AND THEIR ASSOCIATE LIGHTING CONTROL DEVICES REFER TO ARCHITECT'S PLAN.
- 2 PROVIDE NEW LIGHTING FIXTURES AS SPECIFICATION ARCHITECTURAL PLANS. CONNECT NEW LIGHTING FIXTURES TO EXISTING BRANCH CIRCUIT WIRING PRESENTLY SERVING THE LIGHTING IN AREA. PROVIDE CONDUIT AND WIRE AS REQUIRED.
- 3 'MANUAL ON' LOW VOLTAGE LIGHTING CONTROL FOR INDICATED FIXTURE.
- 4 'OVERRIDE' LOW VOLTAGE LIGHTING CONTROL FOR OCCUPANCY SENSOR LIGHTING CONTROL FOR ALL LIGHTING IN ROOM.

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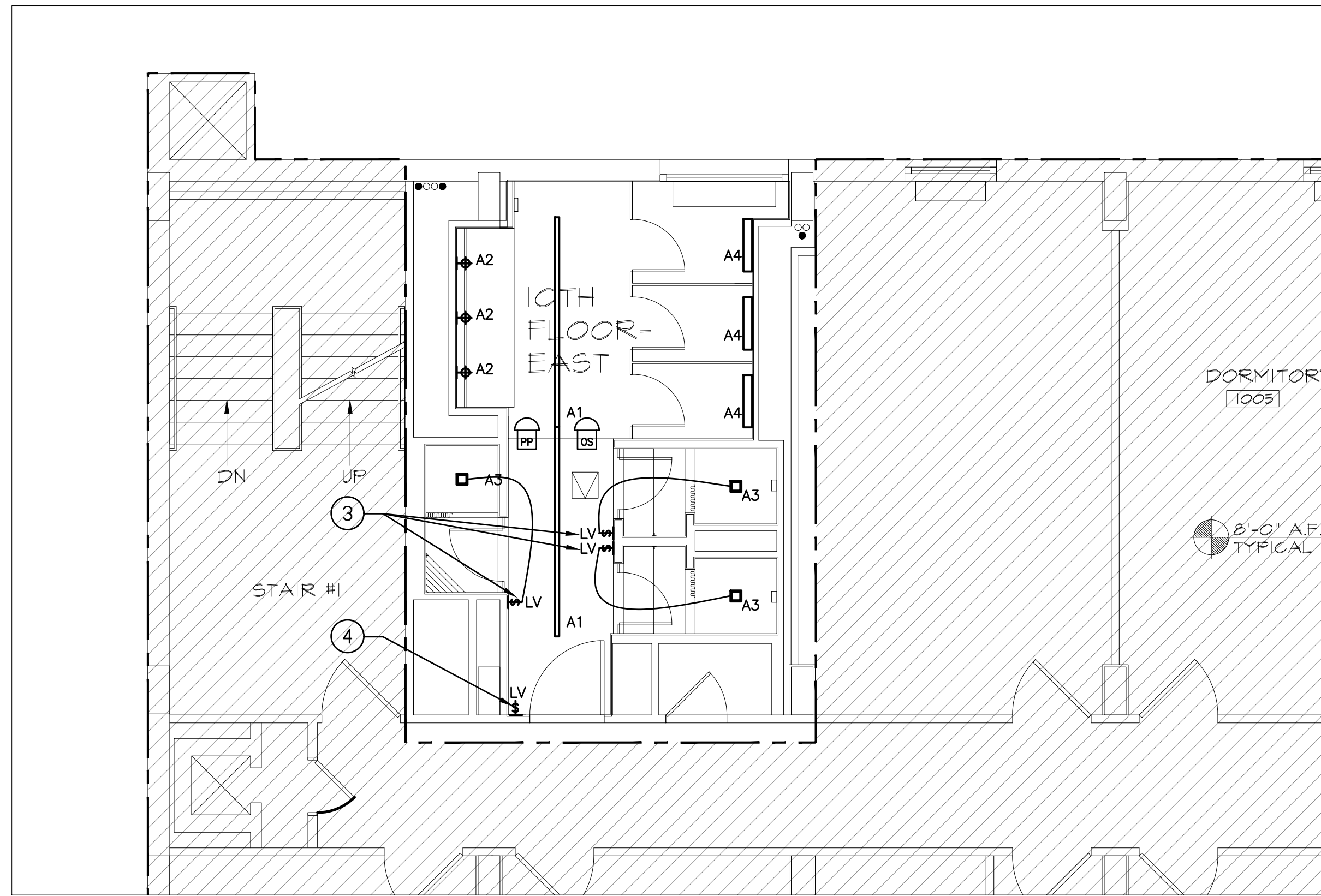
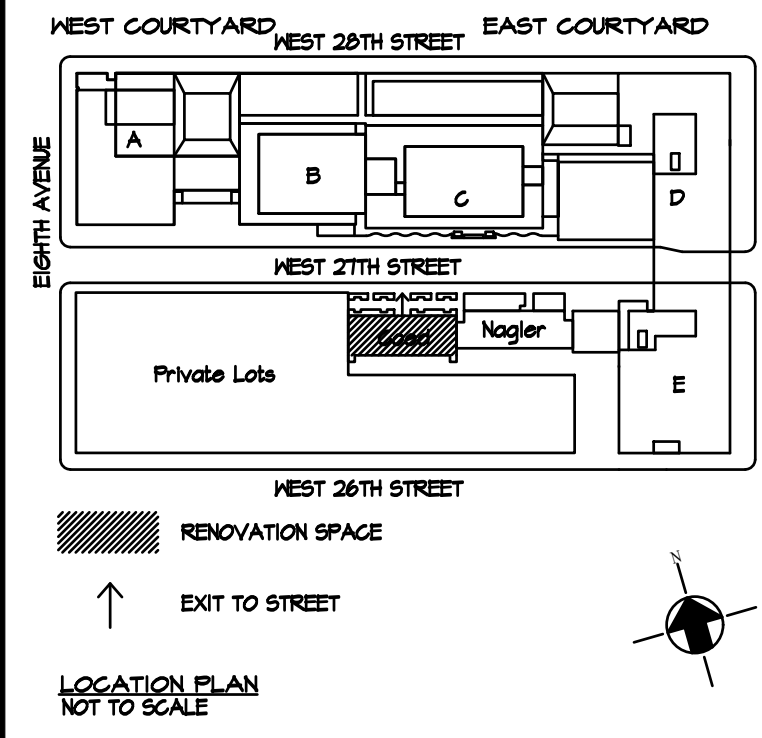
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 NEW YORK NY 10001

DRAWING TITLE:
 9TH FLOOR LIGHTING
 PART PLAN

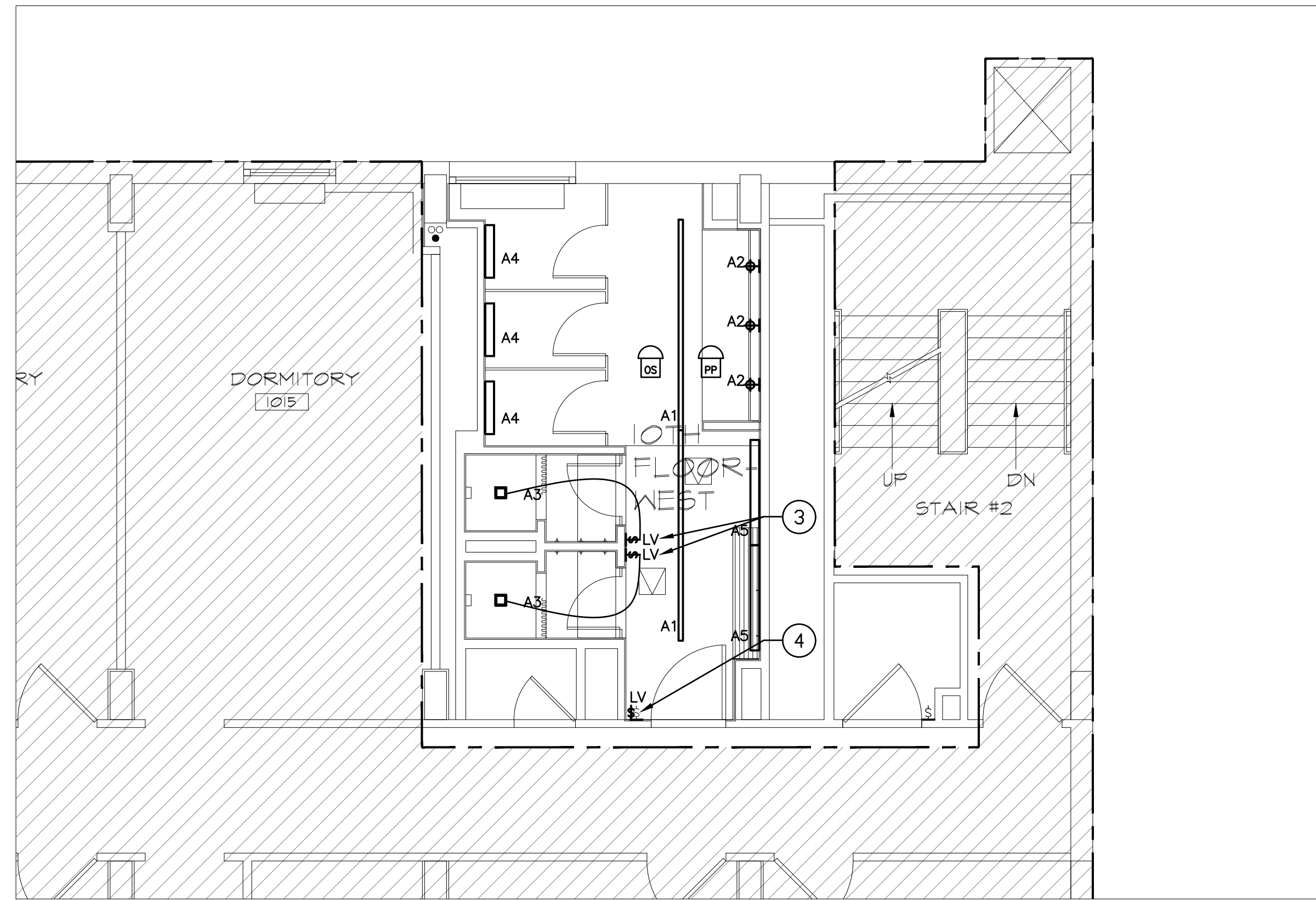
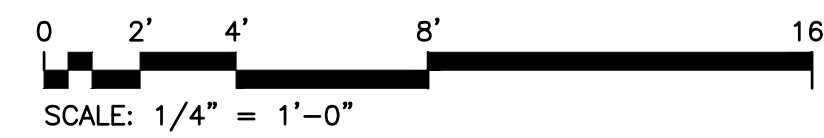
SEAL & SIGNATURE:	DATE: 03.15.2022
	PROJECT No: 13204.110
	DRAWING BY: K.B.
	CHK BY: K.B.
	DWG No:
	E-201.00
	SCALE: AS NOTED 6 OF 8

NOT FOR CONSTRUCTION

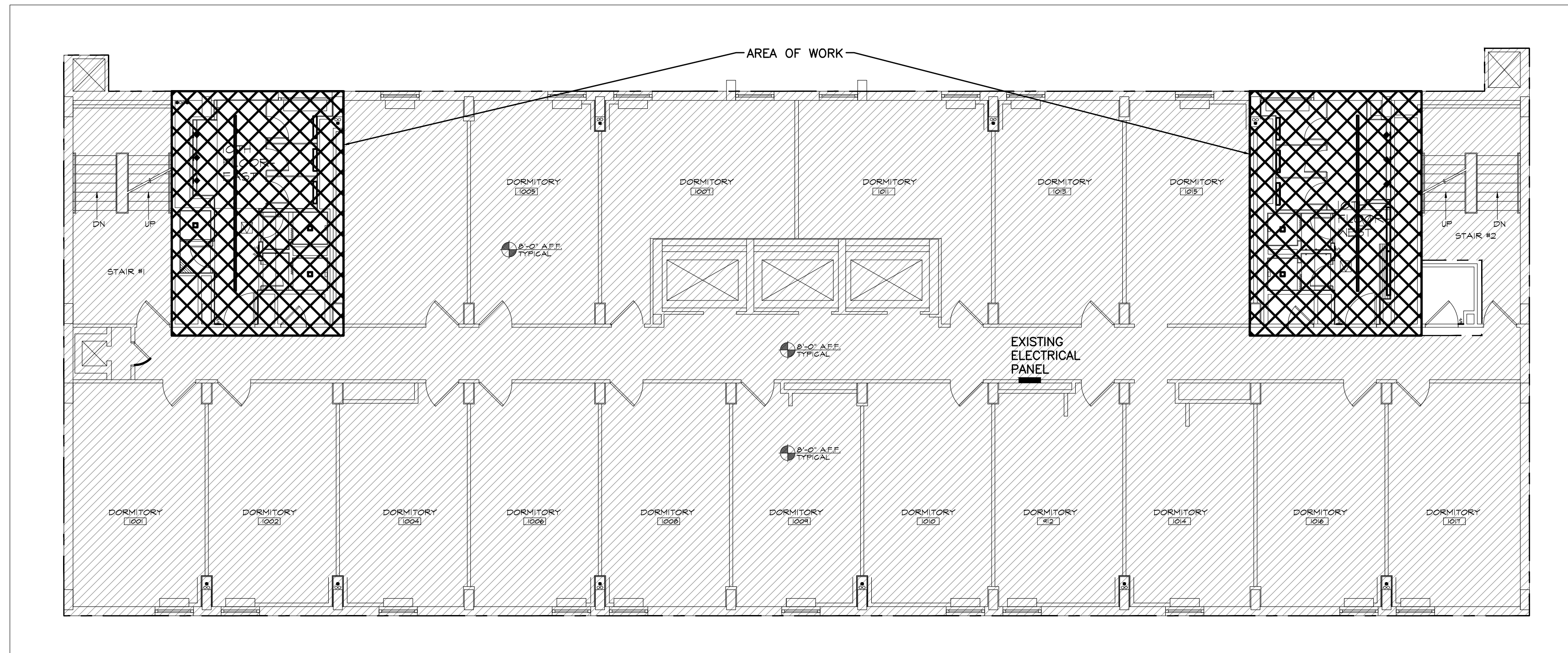
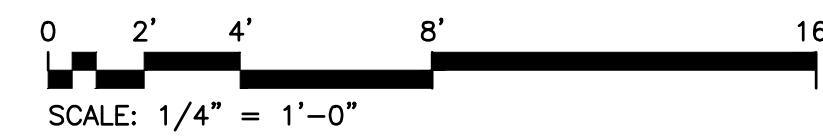
03/17/22 ISSUED FOR BID



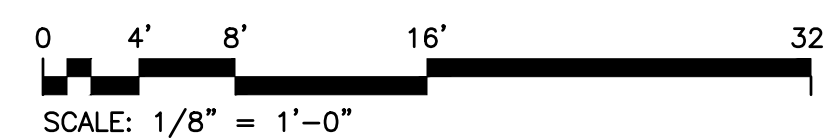
1 PART PLAN LIGHTING TYPICAL - FOR 10TH FLOOR EAST SIDE BATHROOM (1) (2)
E-101 SCALE: 1/4" = 1'-0"



2 PART PLAN LIGHTING TYPICAL - FOR 10TH FLOOR WEST SIDE BATHROOM (1) (2)
E-101 SCALE: 1/4" = 1'-0"



3 PART PLAN LIGHTING TYPICAL - FOR 10TH FLOOR
E-101 SCALE: 1/8" = 1'-0"



LIGHTING NOTES:

- 1 FOR EXACT MOUNTING LOCATIONS OF LIGHTING FIXTURES AND THEIR ASSOCIATE LIGHTING CONTROL DEVICES REFER TO ARCHITECT'S PLAN.
- 2 PROVIDE NEW LIGHTING FIXTURES AS SPECIFICATION ARCHITECTURAL PLANS. CONNECT NEW LIGHTING FIXTURES TO EXISTING BRANCH CIRCUIT WIRING PRESENTLY SERVING THE LIGHTING IN AREA. PROVIDE CONDUIT AND WIRE AS REQUIRED.
- 3 'MANUAL ON' LOW VOLTAGE LIGHTING CONTROL FOR INDICATED FIXTURE.
- 4 'OVERRIDE' LOW VOLTAGE LIGHTING CONTROL FOR OCCUPANCY SENSOR LIGHTING CONTROL FOR ALL LIGHTING IN ROOM.

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PROJECT:
CO-ED RESIDENCE HALL BATHROOM
RENOVATIONS - 9TH-10TH FLOORS
230 WEST 27TH ST
NEW YORK NY 10001

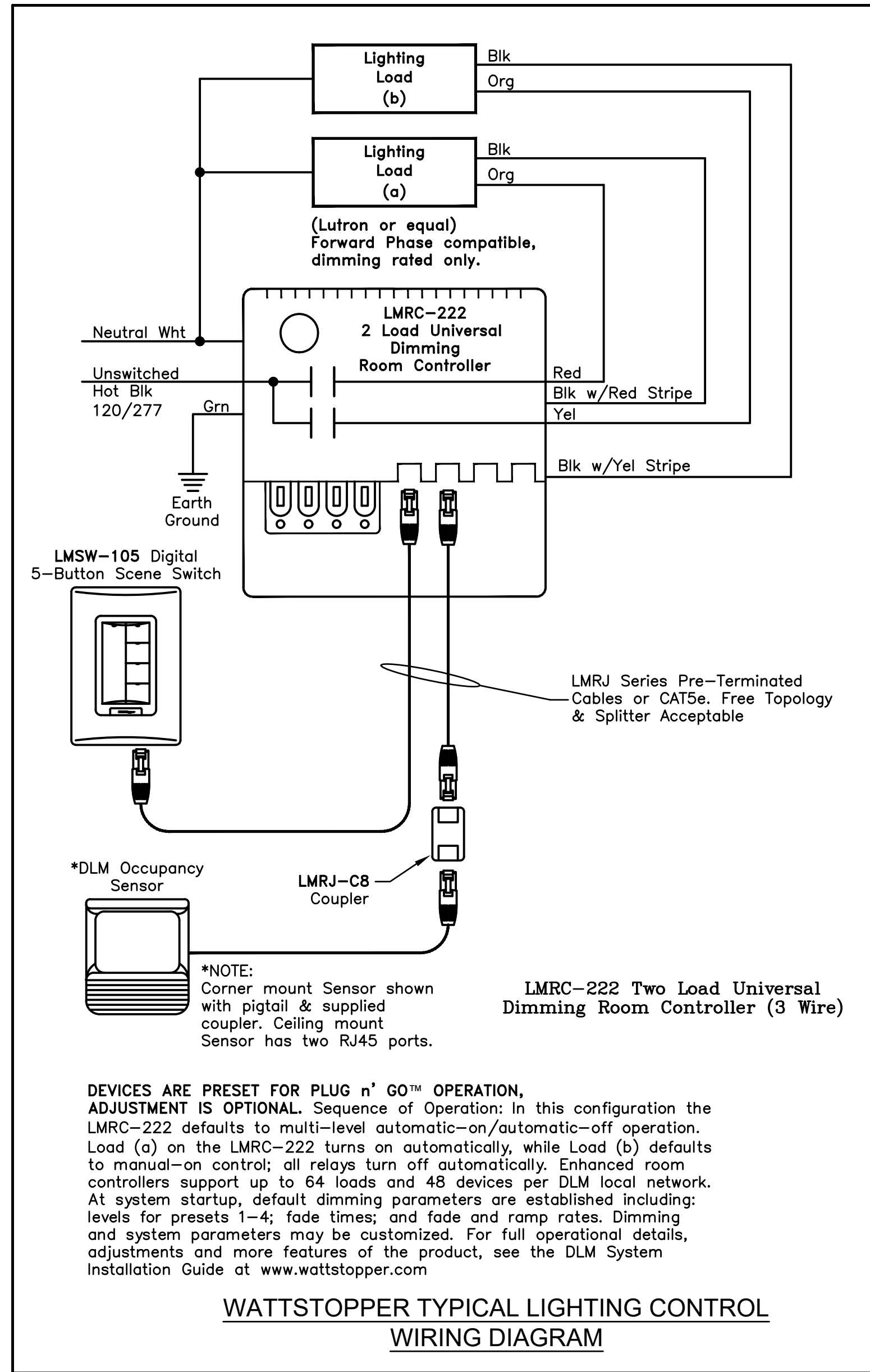
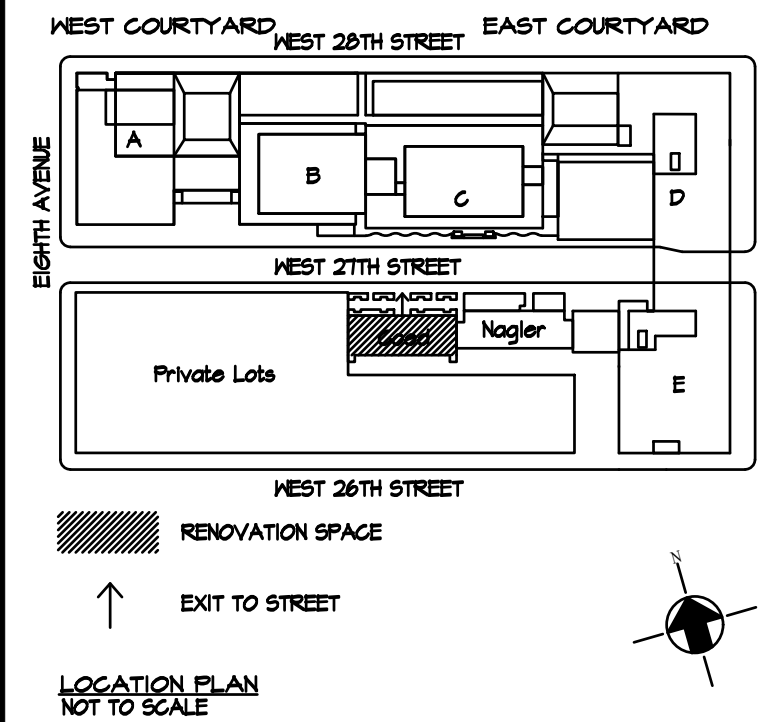
DRAWING TITLE:

10TH FLOOR LIGHTING
PART PLAN

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	DRAWING BY: K.B.
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	E-202.00
	SCALE AS NOTED 7 OF 8

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OCCUPANCY SENSOR LEGEND OF EQUIPMENT			
SYMBOL	DESCRIPTION	MANUFACTURER	REMARKS
OS	SURFACE CEILING MOUNTED COMBINATION ULTRASONIC/PASSIVE INFRARED OCCUPANCY SENSOR. DEVICE SHALL GENERATE ON/OFF SIGNALS TO POWER MODULE AND BE PROVIDED WITH POWER MODULE.	SENSOR SWITCH, CM-PDT WATT STOPPER LEVITON	MULTIPLE SENSOR UNITS CAN BE USED TO COVER LARGE AREAS. INDIVIDUAL SENSOR UNITS CAN BE USED TO CONTROL MULTIPLE POWER PACKS. LOW VOLTAGE WIRING BETWEEN DEVICES AND POWER PACK SHALL BE 6 # 18 AWG. LOWER CASE LETTER INDICATES SWITCHING ZONE. SEE NOTE #4. V - DENOTES VACANCY SENSOR
PP	POWER MODULE LOCATED ABOVE ACCESSIBLE HUNG CEILING ADJACENT TO LIGHT FIXTURE WITH INTEGRAL 20 AMP RATED RELAY. POWER MODULE SHALL BE COMPATIBLE WITH CEILING SENSOR.	SENSOR SWITCH, PP-20 WATT STOPPER LEVITON	POWER MODULE SHALL BE CAPABLE OF CONTROLLING 277 OR 120 VOLT FULLY LOADED CIRCUITS. DEVICE SHALL BE FIELD SET TO PROVIDE AUTO ON OR MANUAL ON. TIME OUT FEATURE SHALL BE SET TO 15 MINUTES. LOWER CASE LETTER INDICATES SWITCHING ZONE.
LV	ON-OFF SWITCH WALL MOUNTED (LOW VOLTAGE)	nLIGHT nPODM WATT STOPPER LEVITON	SWITCH CONTROL FUNCTION MUST COMPLY WITH ASHRAE 90.1-2010

NOTES

- CONTRACTOR SHALL BE RESPONSIBLE FOR THE COORDINATION OF THE APPROPRIATE OCCUPANCY SENSOR DEVICE FOR THE GIVEN VOLTAGE AND MAXIMUM/MINIMUM LOAD CONDITION. NEUTRAL CONDUCTOR MAY BE DELETED IF MINIMUM LOAD CAN BE SATISFIED WITH TWO WIRE DEVICE.
- ALL LOW VOLTAGE CONTROL WIRING BETWEEN CEILING SENSORS, POWER MODULES AND LOW VOLTAGE WALL BOX OCCUPANCY SENSORS SHALL BE IN ACCORDANCE WITH THE MANUFACTURER'S WIRING REQUIREMENTS. THIS WIRING SHALL BE #18 AWG MINIMUM AND ROUTED IN ELECTRICAL METALLIC CONDUIT. IF THE LOCAL CODE HAVING JURISDICTION ALLOWS THE USE OF THIS LOW VOLTAGE WIRING TO BE RUN WITHOUT A RACEWAY THEN THE WIRING SHALL BE FLUOROPOLYMER JACKETED CABLE SUITABLE FOR RUNNING IN PLENUMS AND SHALL BE U.L. APPROVED CLASS 3P OR COMPARABLE. WHERE CONCEALED IN VOIDS OF HOLLOW PARTITIONS OR HUNG CEILINGS, THE PLENUM WIRING MAY BE RUN WITHOUT RACEWAY. FOR ALL OTHER LOCATIONS RUN IN ELECTRICAL METALLIC TUBING.
- EXACT LOCATION OF SENSOR SHALL BE COORDINATED BY THE CONTRACTOR FOR OPTIMUM COVERAGE. CONTRACTOR SHALL INSTALL FIELD-OF-VIEW TEMPLATES, AS REQUIRED, TO MASK THE VIEWING LENS TO PREVENT FALSE TRIGGERING FOR AUTO-ON OPERATION IF REQUIRED. MANUAL-ON APPLICATION DOES NOT HAVE THIS REQUIREMENT.
- WHERE SHOWN ON PLANS PROVIDE MANUAL "ON", MANUAL OVERRIDE "OFF" AS REQUIRED AND WIRE AT TO POWER PACK AS DIRECTED BY SENSOR VENDOR.

LOCAL CONTROL SYSTEM OCCUPANCY SENSOR DETAIL

LIGHTING FIXTURE SCHEDULE										
TYPE	FIXTURE DESCRIPTION	MANUFACTURER	LAMP			TOTAL WATTS	VOLTAGE	CONTROL	MTG HEIGHT	COMMENTS
			LAMP QUANT	WATTS/LAMP	LAMP TYPE					
A1	CORONET SUSPENDED LSI LED FIXTURE, 3500K, 90CRI/8FT	CORONET LSI LED-8-35-LT6I-UNV-DB-N-AC-SD	8	58	LED 3500K		UNV	0-10V DIM	VARIES, SEE PLAN	DAMP LOCATION LISTED
A2	MODERN FORMS MINIVOGE VANITY/SCONCE LED FIXTURE, 1318 LED LUMENS/18"	M5-21718 BN	12	16	LED 3000K		UNV	0-10V DIM	VARIES, SEE PLAN	DAMP LOCATION LISTED
A3	BEVELED BLOCK SURFACE-BLSD5 SQUARE DOWNLIGHT, 3500K, 90CRI/5"x5"	BEVELED BLSD5-12C3-35KH-90-S-WH-SJ-UNV	10	12	LED 3500K		UNV	0-10V DIM	VARIES, SEE PLAN	WET LOCATION LISTED
A4	CORONET SURFACE MOUNT HP LED, 3500K, 90CRI, 2FT	CORONET HP LED-2-35-LT6I-UNV-DB-N-SM/MM	12	14.5	LED 3500K		UNV	0-10V DIM	VARIES, SEE PLAN	DAMP LOCATION LISTED
A5	CORONET SURFACE MOUNT HP LED, 3500K, 90CRI, 4FT	CORONET HP LED-4-35-LT6I-UNV-DB-N-SM/MM	2	29	LED 3500K		UNV	0-10V DIM	VARIES, SEE PLAN	DAMP LOCATION LISTED

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PROJECT:
 CO-ED RESIDENCE HALL BATHROOM RENOVATIONS - 9TH-10TH FLOORS
 230 WEST 27TH ST
 NEW YORK NY 10001

DRAWING TITLE:
 DETAILS AND LIGHTING FIXTURE SCHEDULE

SEAL & SIGNATURE:

DATE: 03.15.2022
 PROJECT No: 13204.110
 DRAWING BY: K.B.
 CHK BY: K.B.
 DWG No:
E-301.00
 SCALE AS NOTED 8 OF 8

GENERAL NOTES

- ALL PIPING SHALL BE HUNG FROM BUILDING STEEL AND STRUCTURAL LOAD BEARING PORTION OF CONCRETE STRUCTURE ONLY. PLUMBING CONTRACTOR SHALL PROVIDE SUPPLEMENTARY STEEL AS NECESSARY TO SUPPORT PIPES FROM EXISTING STEEL. NO ANCHORAGE TO ANY STRUCTURALLY UNSUITABLE OR INADEQUATE ELEMENTS SHALL BE PERMITTED. THE ARCHITECT & STRUCTURAL ENGINEER SHALL BE THE SOLE DETERMINANTS AS TO PERMISSIBILITY OF HANGING NEW WORK FROM EXISTING STEEL BEAMS OR GIRDERS. WHERE THIS IS NOT POSSIBLE, FURNISH AND INSTALL INTERMEDIATE STEEL CHANNEL SUPPORTS OF SUFFICIENT SIZE AND LOAD BEARING CAPACITY SPANNING FROM EXISTING STRUCTURAL STEEL TO EXISTING STRUCTURAL STEEL. NEW WORK SHALL BE SUPPORTED FROM THESE CHANNELS AS REQUIRED.
- FOR DETAIL ON CORE DRILLING REFER TO STRUCTURAL DRAWINGS. ALL CORE DRILLING IS TO BE PROVIDED UNDER THIS CONTRACT.
- WHILE THE DRAWINGS SHALL BE ADHERED TO AS CLOSELY AS POSSIBLE, THE ARCHITECT'S RIGHT IS RESERVED TO VARY THE SIZE OF PIPES DURING THE PROGRESS OF THE WORK IF REQUIRED TO MEET CEILING HEIGHTS, TO MEET STRUCTURAL AND FIELD CONDITIONS. CONTRACTOR SHALL PROVIDE REDRAWING OF SHOP DRAWINGS AS NECESSARY TO ACCOMMODATE THE ARCHITECT'S REQUIREMENTS, AT NO ADDITIONAL COST TO THE OWNER. REFER TO ARCHITECTURAL REFLECTED CEILING PLANS FOR REQUIRED CEILING HEIGHTS.
- INSTALL ALL PIPING IN STRICT ADHERENCE TO THE CEILING HEIGHTS INDICATED ON THE ARCHITECT'S DRAWINGS. CONSULT WITH OTHER CONTRACTORS AND IN CONJUNCTION WITH THE OTHER CONTRACTORS, ESTABLISH THE NECESSARY SPACE REQUIREMENTS FOR EACH TRADE. PREPARE THE COORDINATION DRAWINGS AS PER THE SPECIFICATIONS.
- THE CONTRACTOR SHALL BE HELD RESPONSIBLE TO HAVE EXAMINED THE PREMISES AND COMPARED IT WITH THE DRAWINGS AND SPECIFICATIONS AND TO HAVE SATISFIED HIMSELF OF THE CONDITION EXISTING THERE AS TO THE PERFORMANCE OF THE WORK BEFORE SUBMISSION OF HIS BID.
- THE DRAWINGS ARE GENERALLY DIAGRAMMATIC AND ARE INTENDED TO CONVEY THE SCOPE OF WORK AND INDICATE GENERAL ARRANGEMENT OF EQUIPMENT, FIXTURES AND PIPING. FOLLOW DRAWINGS IN LAYING OUT WORK AND CHECK DRAWINGS OF OTHER TRADES AND EXISTING CONDITIONS TO VERIFY SPACES IN WHICH IT WILL BE INSTALLED. WITHOUT ADDITIONAL COST MAKE MODIFICATIONS TO THE LAYOUT AS NEEDED TO PREVENT CONFLICT WITH WORK OF OTHER TRADES, EXISTING CONDITIONS AND FOR PROPER EXECUTION OF THE WORK.
- PIPING CONNECTED TO EQUIPMENT MAY REQUIRE DIFFERENT SIZE CONNECTION THAN INDICATED ON THE DRAWINGS. PROVIDE TRANSITION PIECES AS REQUIRED FOR EQUIPMENT.
- BEFORE SUBMITTING BIDS, VISIT THE SITE AND REVIEW ALL EXISTING CONDITIONS. INCLUDE IN THE BID ALL WORK REQUIRED TO ACCOMMODATE EXISTING CONDITIONS.
- SHUTDOWNS:
 - WHEN INSTALLATION OF A NEW SYSTEM REQUIRES THE TEMPORARY SHUTDOWN OF AN EXISTING OPERATING SYSTEM, THE CONNECTION OF THE NEW SYSTEM SHALL BE PERFORMED AT SUCH REGULAR TIME OR AT OVERTIME WHEN DESIGNATED BY OWNER AT NO ADDITIONAL COST TO THE OWNER
 - THE OWNER SHALL BE NOTIFIED ON THE ESTIMATED DURATION OF THE SHUTDOWN PERIOD AT LEAST TEN (10) DAYS IN ADVANCE OF THE DATE THE WORK IS TO BE PERFORMED.
 - WORK SHALL BE ARRANGED FOR CONTINUOUS PERFORMANCE, INCLUDING OVERTIME, WHEN APPROVED BY THE OWNER, IF REQUIRED, TO ASSURE THAT THE EXISTING OPERATING SERVICES WILL BE SHUT DOWN ONLY DURING THE TIME ACTUALLY REQUIRED TO MAKE THE NECESSARY CONNECTIONS.
- ACCESS DOORS IN FINISHED CONSTRUCTION
 - INSTALL ALL WORK SO THAT ALL PARTS REQUIRED ARE READILY ACCESSIBLE FOR INSPECTION, OPERATION, MAINTENANCE AND REPAIR. MINOR DEVIATIONS FROM THE DRAWINGS MAY BE MADE TO ACCOMPLISH THIS, BUT CHANGES OF SIGNIFICANT MAGNITUDE SHALL NOT BE MADE WITHOUT PRIOR WRITTEN REVIEW FROM THE ARCHITECT.
 - WHEREVER MECHANISMS REQUIRING ACCESS FOR MAINTENANCE, OR FOR OPERATION ARE CONCEALED IN THE STRUCTURE AND WHEREVER ELSE INDICATED ON THE DRAWINGS, SUPPLY ACCESS DOORS OF SIZES NECESSARY TO PROVIDE READY ACCESS TO THE CONCEALED ITEMS GROUP TOGETHER VALVES, EXPANSIONS JOINT, GAUGES, AND OTHER EQUIPMENT REQUIRING ACCESS IN WALLS AND FURRED SPACES TO REDUCE THE NUMBER OF ACCESS DOORS.
- CONTRACTOR TO PROVIDE FIREPROOFING WHERE THE EXISTING FIREPROOFING WAS REMOVED TO EXPOSE THE EXISTING STEEL FOR HANGERS. REFER TO SPECIFICATION FOR FIREPROOFING.

GENERAL DEMOLITION NOTES

- DEMOLITION OF PLUMBING ITEMS SHALL BE PERFORMED UNDER THE PLUMBING CONTRACT.
- LOCATION OF THE EXISTING PIPING AS SHOWN ON DRAWINGS IS APPROXIMATE.
- PROVIDE TEMPORARY SUPPORTS WHERE REQUIRED.
- DURING DEMOLITION, PROPERLY CAP AND PROTECT ALL PIPING THAT WILL REMAIN IN OPERATION.
- WHERE EXISTING INSULATION TO REMAIN IS DAMAGED BY THE REQUIREMENTS OF THE WORK, REPLACE ANY DAMAGED INSULATION TO MATCH EXISTING.
- DEMOLITION WORK SHALL BE PERFORMED BY WORKMEN EXPERIENCED IN THIS TYPE OF WORK AND SHALL BE CARRIED THROUGH TO COMPLETION WITH DUE REGARD TO THE SAFETY OF ALL BUILDING OCCUPANTS AND THE EMPLOYEES OF THE CONTRACTOR, WITH AS LITTLE DISTURBANCE AS POSSIBLE.
- DEMOLISH ALL EQUIPMENT AS INDICATED, FIXTURES AND/OR MISCELLANEOUS ARTICLES IN THEIR ENTIRETY INCLUDING AUXILIARY EQUIPMENT, PIPING, WIRING & CONDUIT.
- MATERIALS RESULTING FROM THE DEMOLITION OPERATIONS SHALL NOT BE ALLOWED TO ACCUMULATE ON THE FLOORS AND ROOF SURFACES, EXTERIOR GRADE SURFACES OR OTHER PARTS OF THE PREMISES, AND SHALL BE PROMPTLY REMOVED AND DISPOSED OF AWAY FROM THE PREMISES.
- INCLUDE ALL DEMOLITION OF SYSTEMS AND COMPONENTS WHERE SYSTEMS SHALL BE REPLACED BY NEW WORK. REFER TO THE DRAWINGS AND SPECIFICATIONS FOR THE SCOPE OF NEW AND RECONNECTED WORK. THE INTENT OF THIS REQUIREMENT IS TO HAVE THE CONTRACTOR DISCONNECT, DEMOLISH AND REMOVE ALL EXPOSED AND CONCEALED WORK WHERE BEING REPLACED OR CONNECTED TO THE NEW LAYOUTS.
- COORDINATE ELECTRICAL POWER DISCONNECTION PRIOR TO DEMOLITION WITH ELECTRICAL CONTRACTOR.
- PROTECT ALL FIXTURES & PLUMBING WORK AND WORK OF OTHER TRADES WHICH IS TO REMAIN, FROM DAMAGE DURING DEMOLITION.
- ALL PIPING TO REMAIN SHALL HAVE ENDS TERMINATED IN A NEAT MANNER READY FOR CONNECTION OF NEW WORK. ALL EXPOSED ENDS OF PIPING SHALL BE CAPPED. SCREWED PIPING SHALL END ON A SCREWED JOINT. FLANGED PIPE SHALL END WITH A FLANGED JOINT. WELDED PIPING SHALL BE MECHANICALLY CUT, CLEANED OF BURRS AND A CAP TACK WELDED TO THE PIPE. DUCTWORK SHALL BE CAPPED WITH SHEET METAL CONNECTED TO THE DUCT TO REMAIN.
- REMOVAL OF EQUIPMENT & PIPING SHALL INCLUDE ALL HANGERS & SUPPORT ASSOCIATED WITH THE EQUIPMENT & PIPING TO BE REMOVED. ALTERATION WORK

PLUMBING SYMBOLS AND ABBREVIATIONS

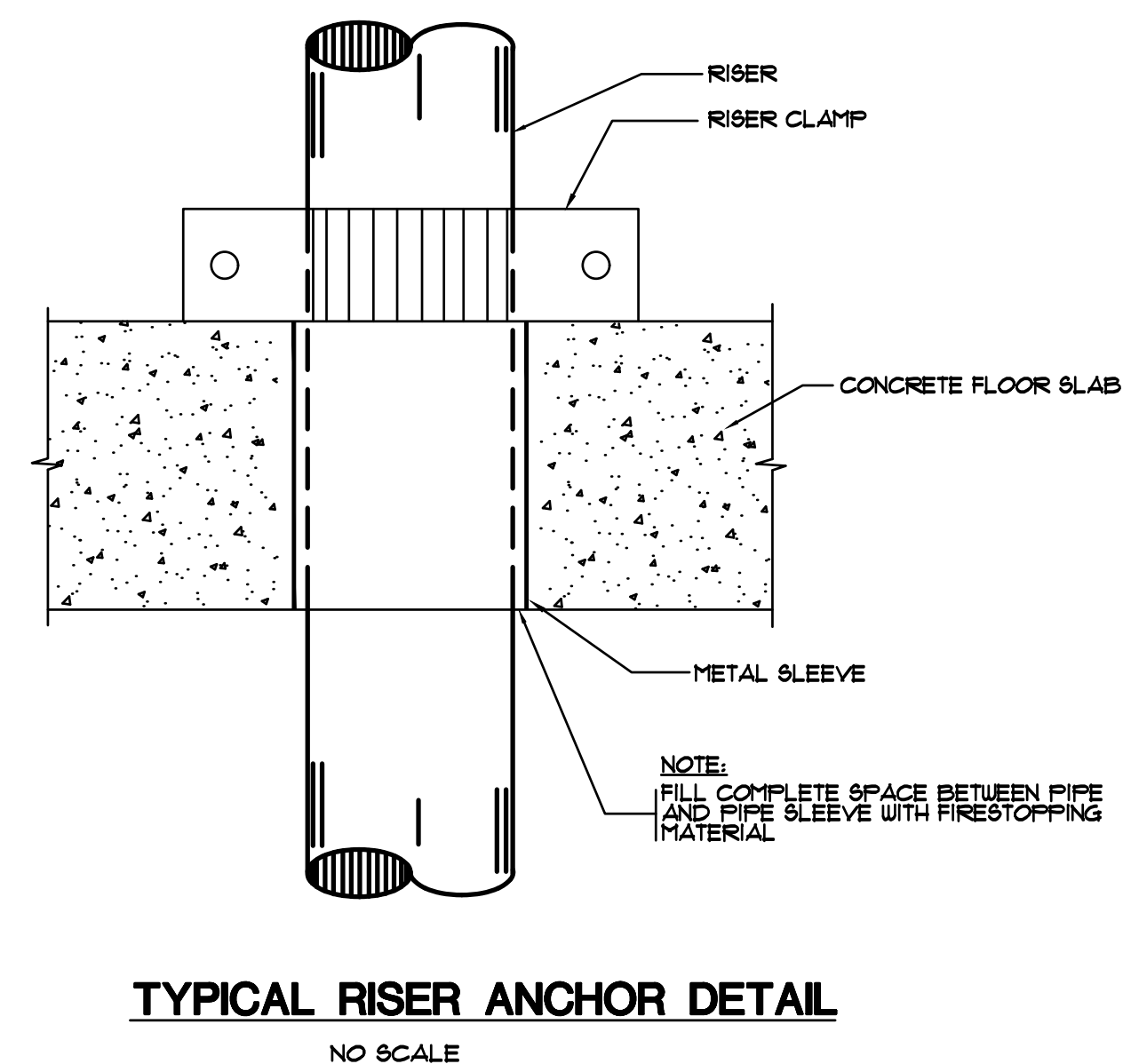
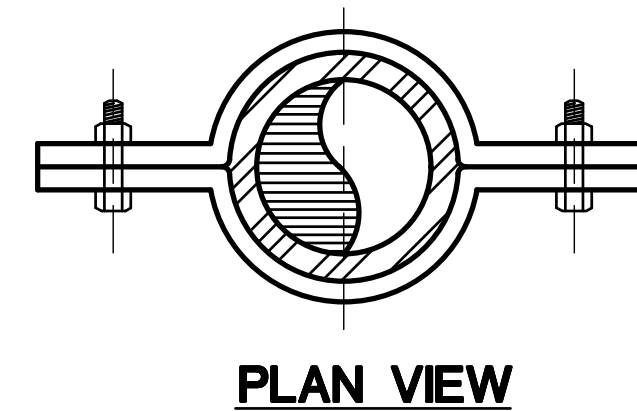
SYMBOL	DESCRIPTION
—EX—	EXISTING PIPING
—S—	SANITARY DRAINAGE PIPING (S)
----	VENT PIPING (V)
----	COLD WATER PIPING (CW)
----	HOT WATER PIPING (HW)
----	HOT WATER RECIRCULATION PIPING (HWR)
○	PIPE UP UNLESS OTHERWISE NOTED
⊖	PIPE DROP UNLESS OTHERWISE NOTED
—	CLEANOUT (CO)
⊕	TRAP
⊕	EXISTING PLUMBING RISER
⊕	CONNECT TO EXISTING
⊕	CUT AND CAP EXISTING PIPING
—	NEW CONNECTION TO EXISTING
—	SHUT-OFF VALVE
///	PLBG. FIXTURE TO BE REMOVED
CLG	CEILING
CONN	CONNECT, CONNECTION
DN	DOWN
DWG	DRAWING
NTS	NOT TO SCALE

PLUMBING FIXTURE CONNECTION SCHEDULE

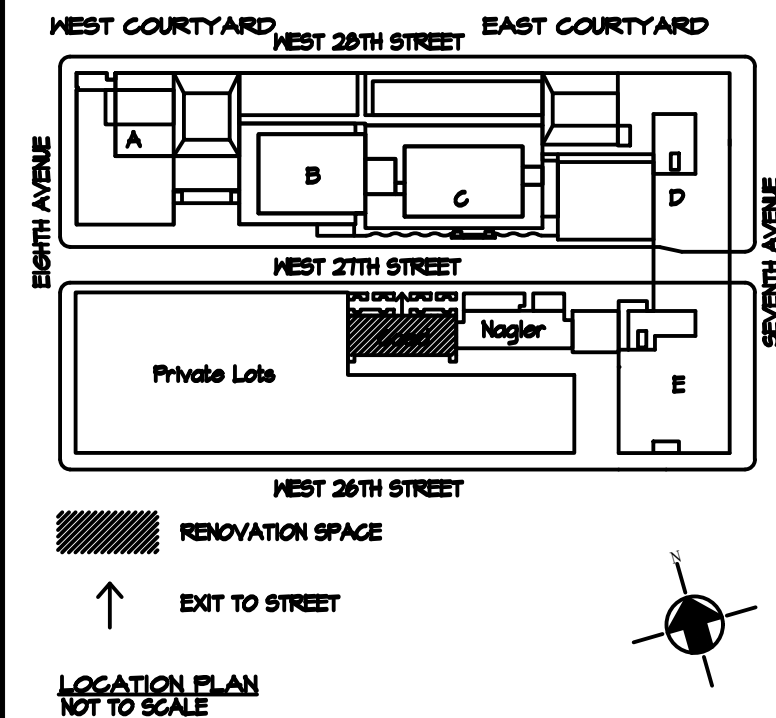
LEGEND	PLUMBING FIXTURE	CONNECTION SIZE - INCHES				REMARKS
		SOIL/WASTE (S/W)	VENT (V)	COLD WATER (CW)	HOT WATER (HW)	
WC	WATER CLOSET	4"	2"			WALL HUNG
LAV	LAVATORY	1 1/2"	1 1/2"	1/2"	1/2"	UNDERMOUNTED
SH	SHOWER	2"	1 1/2"	1/2"	1/2"	

PLUMBING FIXTURES SPECIFICATION

FIXTURE DESIGNATION	MODEL NO.	MANUFACTURER (OR EQUAL)	DESCRIPTION
P-1	WETS-2450.1320	SLOAN	WALL MOUNT FLUSHMETER WATER CLOSET. VITREOUS CHINA, SIPHON JET FLUSHING ACTION, ELONGATED BOWL, 1-1/2" TOP SPUD, WITH SENSOR-OPERATED TOILET FLUSH VALVE, SPUD COUPLING AND FLANGE FOR 1-1/2" TOP SPUD, 1.28 GPF, HARD WIRED SENSOR FOR AUTOMATIC "NO HAND" OPERATION
	K-4679-CA	KOHLER	TOILET SEAT, ELONGATED OPEN FRONT SEAT, CHECK HINGE, WHITE
P-2	K-2355	KOHLER	VITREOUS UNDER-MOUNT BATHROOM SINK SINGLE BOWL, 19-7/8"x15-5/16"x7-1/2", WITH OVERFLOW, WITHOUT FAUCET HOLES
	K-7516	KOHLER	SINGLE HOLE, ABOVE-COUNTER MOUNT, SENSOR OPERATED LAVATORY FAUCET, CAST BRASS BODY, 0.5 GPM FLOW RATE, FACTORY SET 30 SEC MAX CONTINUAL RUN CYCLE, POWERED BY 30 YEARS HYBRID ENERGY SYSTEM.
	K-7516	KOHLER	THERMOSTATIC TEMPERING VALVE, INCLUDES TAMPER RESISTANT LOCKING NUT TO PREVENT ACCIDENTAL MISADJUSTMENT, BUILT-IN CHECK VALVES ON BOTH COLD AND HOT WATER INLET, STRAINER WITH 40 MESH STAINLESS STEEL SCREENS TO FILTER
P-3	K-T14422-4	KOHLER	SHOWER TRIM SET, BRASS CONSTRUCTION
	K-8304	KOHLER	MIXING VALVE, MIXING CYCLES FROM "COLD" TO "HOT", MAINTAIN WATER TEMPERATURE WITHIN +/- 3° F, PROVIDE ANTI-SCALD PROTECTION, ADJUSTABLE HIGH TEMPERATURE LIMIT STOP



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PROJECT:
CO-ED RESIDENCE HALL BATHROOM
RENOVATIONS - 9TH-10TH FLOORS
230 WEST 27TH ST
NEW YORK NY 10001

DRAWING TITLE:
PLUMBING SYMBOLS,
ABBREVIATIONS, NOTES,
SCHEDULES, AND DETAILS

SEAL & SIGNATURE:	DATE: 03.15.2022
	PROJECT No: 15224.110
	DRAWING BY: C.N.
	CHK BY: V.M.
	DWG No:
	P-001.00
	SCALE: NTS
	1 OF 4

1 GENERAL

1.1 GENERAL REQUIREMENTS

A. ALL WORK SHALL COMPLY WITH THE REQUIREMENTS OF NYC BUILDING CODE.
 B. DRAWINGS ARE DIAGRAMMATIC AND INDICATE GENERAL ARRANGEMENT. BEFORE SUBMITTING PROPOSAL, CONTRACTOR SHALL VERIFY ALL GOVERNING DIMENSIONS IN THE BUILDING, CAREFULLY EXAMINE EXISTING CONDITIONS AND COORDINATE ALL WORK TO MINIMIZE INTERFERENCE WITH EXISTING FACILITY AND SERVICES.
 1. SUBMISSION OF PROPOSAL WILL BE CONSTRUED AS EVIDENCE THAT REQUIRED EXAMINATION OF FIELD CONDITIONS AND CONTRACT DRAWINGS HAS BEEN MADE. LATER CLAIMS FOR EXTRA LABOR, EQUIPMENT AND MATERIALS REQUIRED DUE TO DIFFICULTIES WHICH COULD HAVE BEEN FORESEEN WILL NOT BE RECOGNIZED.
 C. ALL MATERIALS AND EQUIPMENT USED SHALL BE NEW, MANUFACTURED IN THE UNITED STATES. THEY SHALL BE IN COMPLIANCE WITH NYC PLUMBING CODE.
 D. PROVIDE WORKMANSHIP OF THE HIGHEST GRADE. INSTALL ALL PIPING AND EQUIPMENT IN CONFORMANCE WITH THE MANUFACTURER'S RECOMMENDATIONS, REQUIREMENTS OF ALL APPLICABLE CODES AND GOOD ENGINEERING PRACTICE. ENTIRE SYSTEM AS INSTALLED SHALL MEET REQUIREMENTS OF THE AUTHORITIES HAVING JURISDICTION AND RECEIVE APPROVES OF SAME BEFORE THE FINAL PAYMENT.
 E. CONNECTIONS TO THE EXISTING WORK SHALL BE DONE IN A NEAT AND APPROVED MANNER. RESTORE EXISTING PIPING DISTURBED IN MAKING SUCH CONNECTIONS TO PERFECT CONDITIONS.
 1. NOT SHUTDOWN OF THE EXISTING SYSTEMS SHALL BE MADE WITHOUT PRIOR WRITTEN PERMISSION FROM THE FACILITY MANAGEMENT.

1.2 SCOPE OF WORK

A. PROVIDE ALL REQUIRED LABOR, MATERIALS, EQUIPMENT, PERMITS, CERTIFICATES, INSPECTION, TESTING AND OTHER CONTRACTOR'S SERVICES NECESSARY FOR COMPLETE SAFE INSTALLATION OF WORK IN FULL CONFORMITY WITH THE REQUIREMENTS OF ALL AUTHORITIES HAVING JURISDICTION, ALL AS INDICATED ON THE CONTRACT DRAWINGS AND HEREIN SPECIFIED:
 1. REMOVE EXISTING PLUMBING FIXTURES AND PIPING AS SHOWN ON DRAWINGS.
 2. MODIFICATION TO EXISTING WATER, SANITARY DRAINAGE AND VENT SYSTEM
 3. PROVIDE NEW PLUMBING FIXTURES AND TRIM AND CONNECT TO EXISTING PIPING AS SHOWN OR AS CALLED FOR ON DRAWINGS.
 4. INSULATION.
 5. HANGERS AND SUPPORTS.

6. ROUGH CUTTING AND PATCHING.

- 7. TESTS.
- 8. DISINFECTION OF POTABLE WATER SYSTEM.
- 9. SHOP DRAWINGS.
- 10. AS-BUILT DRAWINGS.
- 11. SLEEVES FOR PLUMBING PENETRATIONS.
- 12. FIRESTOPPING FOR PLUMBING PENETRATIONS.
- 13. ESCUTCHEONS.
- 14. ALL REQUIRED PERMITS, INSPECTIONS, FEES.

B. WORK NOT INCLUDED:

- 1. FINISH PAINTING.
- 2. TOILET ACCESSORIES.

1.3 SUBMITTALS

A. AFTER VERIFYING ALL FIELD CONDITIONS AND PRIOR TO COMMENCING WORK, THE CONTRACTOR SHALL SUBMIT SHOP DRAWINGS FOR REVIEW AND APPROVED BY THE ENGINEER. ANY WORK INSTALLED WITHOUT APPROVED SHOP DRAWINGS FOR THIS WORK SHALL BE AT THE CONTRACTOR'S RISK. IN THIS CASE THE BURDEN OF ANY EXTRA COST ASSOCIATED WITH THE REQUIRED CHANGES TO THE INSTALLED WORK SHALL BE BORNE BY THE CONTRACTOR.

B. SHOP DRAWINGS SHALL BE FULLY COORDINATED WITH THE FIELD CONDITIONS AND WORK OF OTHER TRADES. ANY PROBLEMS ARISING FROM THE LACK OF SUCH COORDINATION MAY NOT BE USED AS A BASIS FOR CLAIMS FOR EXTRA COMPENSATION.

C. ALL DEVIATIONS FROM THE CONTRACT DRAWINGS MUST BE CLEARLY IDENTIFIED ON THE SUBMITTED SHOP DRAWINGS BY THE USE OF A CLOUDS@ AND/OR SPECIAL NOTES.

D. SUBMIT THE FOLLOWING: FLOOR PLANS WITH PIPING LAYOUT (SCALE 1/4" = 1'-0" OR LARGER), PLUMBING FIXTURES WITH TRIM, VALVES, INSULATION, SUPPORTS AND SLEEVES.

1.4 QUALITY ASSURANCE

A. ALL WORK SHALL COMPLY WITH THE FOLLOWING CODES AND STANDARDS:

- 1. NYC BUILDING CODE
- 2. NYC DEP RULES AND REGULATIONS.

3. FEDERAL AMERICANS WITH DISABILITIES ACT.
 4. PLUMBING AND DRAINAGE INSTITUTE (PDI).

2 PRODUCTS

2.1 APPROVED MANUFACTURERS

- A. VALVES: STOCKHAM, CRANE, NIBCO.
- B. INSULATION: OWNS-CORNING FIBERGLASS CO., MANVILLE CORP.
- C. HANGERS AND SUPPORTS: GRINNELL, CARPENTER AND PATTERSON, B-LINE.
- D. PLUMBING FIXTURES: AMERICAN STANDARD, KOHLER, CRANE.
- E. FAUCETS: AMERICAN STANDARD, KOHLER, CHICAGO FAUCETS, DELTA FAUCETS, SPEAKMAN, SYMMONS.

2.2 PIPING

- A. SANITARY DRAINAGE AND VENT PIPING: CAST IRON ABOUT GROUND SOIL, WASTE AND VENT PIPING SHALL BE NO-HUB PIPE WITH APPROVED STAINLESS STEEL COUPLINGS OR GALVANIZED STEEL PIPE WITH THREADED CAST IRON OR MALLEABLE IRON FITTINGS.
- B. DOMESTIC WATER DISTRIBUTION PIPING: COPPER PIPE TYPE AL@ AND WROUGHT COPPER OR CAST BRONZE FITTINGS WITH 95-5 LEAD-FREE SOLDERED JOINTS. ALL EXPOSED WATER PIPING TO PLUMBING FIXTURES SHALL BE CHROME PLATED.

C. ESCUTCHEONS: PROVIDE EXPOSED PIPING BOTH BARE AND COVERED WITH CHROME PLATED CAST BRASS ESCUTCHEONS ON BOTH SIDES WHERE PASSING THROUGH CEILINGS, WALLS OR PARTITIONS.

D. SLEEVES: PROVIDE m 22 USSG GALVANIZED IRON SLEEVES EXTENDED THROUGH CONSTRUCTION IN CEILINGS, WALLS AND PARTITIONS. SLEEVES FOR INSULATED PIPING SHALL BE SIZED TO ALLOW INSULATION TO PASS THROUGH THE SLEEVE. MINIMUM 1 INCH SPACE SHALL BE PROVIDED BETWEEN THE PIPE OR INSULATION AND THE SLEEVE. ALL SLEEVES SHALL BE SEALED IN ACCORDANCE WITH THE BUILDING CODE REQUIREMENTS. SEALS IN FIRE RATED WALLS AND PARTITIONS SHALL BE OF THE UL LISTED TYPE AND MATERIAL WITH AT LEAST THE SAME RATING. SLEEVES THROUGH FOUNDATION WALL SHALL BE WATER-TIGHT.

2.3 VALVES

A. SHUTOFF VALVES: BRONZE, RISING STEM, GATE TYPE, 125 PSI WSP, THREADED ENDS. STOCKHAM m B-105. SOLDER JOINT END - STOCKHAM m B109.

B. VALVE TAGS

- 1. PROVIDE TAGS ON ALL CONTROL VALVES. TAGS SHALL BE 2" SQUARE, 18 BS GAUGE ALUMINUM WITH STAMPED NUMBERS AND LETTERS FILLED IN WITH BLACK PAINT.
- 2. FASTEN TAGS TO VALVES WITH BRASS HOOKS OR CHAINS.

2.4 INSULATION

A. INSULATE WATER PIPING WITH 4 LB. DENSITY FIBERGLASS ONE-PIECE MOLDED SECTIONAL COVERING. MAXIMUM K FACTOR: 0.26 AT 75°F MEAN.

B. PROVIDE A FIRE RETARDANT ALL SERVICE JACKET ON PIPE INSULATION. MAXIMUM FLAME SPREAD/SMOKE DEVELOPED RATING SHALL BE 25/50.

C. VALVES AND FITTINGS: PRE-MOLDED FIBERGLASS FITTINGS OR RADIAL MITERED SEGMENTS OF PIPING INSULATION, TAPED ON. OVER INSULATION APPLY A SKIM COAT OF INSULATION CEMENT, A COAT OF MASTIC, WRAP WITH FIBERGLASS REINFORCING CLOTH AND COVER WITH A FINISH COAT OF MASTIC. VAPOR SEAL INSULATION ON COLD WATER PIPING. THICKNESS SAME AS REQUIRED ON PIPING.

D. THICKNESS OF INSULATION:

- 1. COLD WATER PIPING: 1/2" THICK.
- 2. HOT WATER PIPING: 1" THICK.

2.5 PIPE HANGER AND SUPPORTS

A. HANGERS FOR THE PIPING 2@ AND LESS: ADJUSTABLE SWIVEL RING, GRINNELL FIG. 69 FOR THE LARGER PIPING: ACLEVIS@ TYPE, GRINNELL FIG. 260. HANGERS FOR UNINSULATED COPPER PIPING SHALL HAVE COPPER LINING. FOR INSULATED PIPING PROVIDE WELDED PROTECTIVE SHIELDS.

B. SUSPEND PIPING FROM THE EXISTING STRUCTURAL BEAMS WITH BEAM CLAMPS WITH RETAINING CLIPS. ANVIL FIG. 61, 87, 131 OR 225.

C. HANGER RODS SHALL BE GALVANIZED, SIZED BASED ON THE SUPPORTED PIPE TYPE AND SIZE AND SHALL LOCK THE HANGER IN PLACE BY DOUBLE NUTS. MINIMUM ROD SIZE SHALL BE 1/4".

D. IN EXISTING SOLID CONCRETE SLABS, USE EXPANSION ANCHORS SIMILAR TO HILTI HDI.

E. PIPE SUPPORTS IN PIPE CHASES: PROVIDE PIPE SUPPORTS AND CHANNELS TO SECURELY HOLD PIPING, SIMILAR TO GRADE KJA CYCOLAC DH SELF-EXTINGUISHING ABS AS MANUFACTURED BY THE SUMNER CORPORATION.

2.6 PLUMBING FIXTURES AND TRIM

A. ALL FIXTURES AND TRIM SHALL COMPLY WITH NEW YORK CITY REQUIREMENTS FOR LOW FLOW FIXTURES.

B. EXPOSED PIPE, FITTINGS, TRAPS, VALVES, VALVE HANDLES AND ACCESSORIES ABOVE AND BELOW THE FIXTURES SHALL BE POLISHED CHROME PLATED BRASS WITH MATCHING ESCUTCHEONS.

C. ALL PLUMBING FIXTURES SHALL BE PROVIDED WITH SUPPLIES, STOPS AND WITH P-TRAPS.

2.7 PLUMBING FIXTURE SCHEDULE: SEE DRAWINGS.

3 EXECUTION

3.1 INSTALLATION

A. INSTALL PIPING APPROXIMATELY AS INDICATED. PROVIDE ADDITIONAL OFFSETS, FITTINGS, VALVES, DRAINS, ETC. WHERE REQUIRED BY THE CONSTRUCTION AND WORK OF OTHER TRADES.

B. CHANGES IN DIRECTION IN DRAINAGE PIPING SHALL BE MADE WITH THE USE OF 45 DEGREE WYES. LONG SWEEPS, SHORT SWEEPS, SIXTH, QUARTER, EIGHT OR SIXTEENTH BENDS OR BY A COMBINATION OF THESE OR EQUIVALENT FITTINGS.

C. SLOPE HORIZONTAL DRAINAGE PIPING 22" AND SMALLER AT 3" PER FOOT MINIMUM, 3" AND LARGER PIPING AT 1/4" PER FOOT MINIMUM. SLOPE VENT PIPING TO DRAIN OUT CONDENSATION.

D. SUPPORT PIPING INDEPENDENTLY FROM THE STRUCTURE AT THE DISTANCES AS REQUIRED BY CODE. CHAIN STRAPS, PERFORATED BARS AND WIRE HANGERS WILL NOT BE PERMITTED FOR THE PIPE SUPPORT. PIPING SHALL NOT BE SUPPORTED FROM PIPES OR DUCTS.

- 1. WHERE OVERHEAD CONSTRUCTION DOES NOT PERMIT FASTENING HANGER RODS TO THE EXISTING BEAMS, PROVIDE SUPPLEMENTARY STEEL AS REQUIRED.
- 2. PROVIDE PROTECTION SHIELDS ON INSULATED PIPING AND INSTALL HANGERS OVER THE INSULATION AND SHIELDS.
- 3. SUPPORT HORIZONTAL BRANCH PIPING IN PIPE CHASES FROM WALL BRACKETS SUPPORTED FROM STRUCTURE.

E. PROVIDE TAPERED REDUCING FITTINGS FOR CHANGES IN PIPE SIZE. NO BUSHINGS WILL BE PERMITTED.

F. PROVIDE A MINIMUM OF THREE ELBOW SWINGS FOR CONNECTION TO WATER MAINS, BRANCHES AND EQUIPMENT.

G. DISSIMILAR METALS: PROVIDE DIELECTRIC FITTINGS WHEREVER PIPES MADE OF DISSIMILAR METALS ARE CONNECTED.

3.2 TESTS

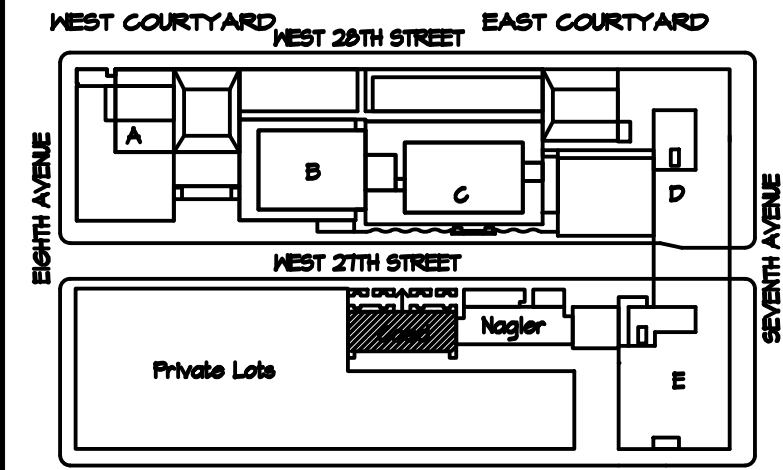
- A. TEST ALL NEW AND AFFECTED SECTIONS OF THE SYSTEMS AS REQUIRED BY THE NYC BUILDING CODE. PROVIDE ALL REQUIRED LABOR, MATERIALS, EQUIPMENT AND CONNECTIONS NECESSARY FOR THE TESTS. SUBMIT TEST RESULTS FOR REVIEW.
- B. REPAIR OR REPLACE DEFECTIVE WORK AND PAY FOR RESTORING OR REPLACING OF WORK BY OTHERS DAMAGED DUE TO THE TESTS.

3.3 DISINFECTION OF POTABLE WATER SUPPLY SYSTEM

A. DISINFECT DOMESTIC POTABLE WATER PIPING AS REQUIRED BY THE NYC BUILDING CODE.

rev. no. date revisions

03/17/22 ISSUED FOR BID



RENOVATION SPACE

EXIT TO STREET

LOCATION PLAN NOT TO SCALE

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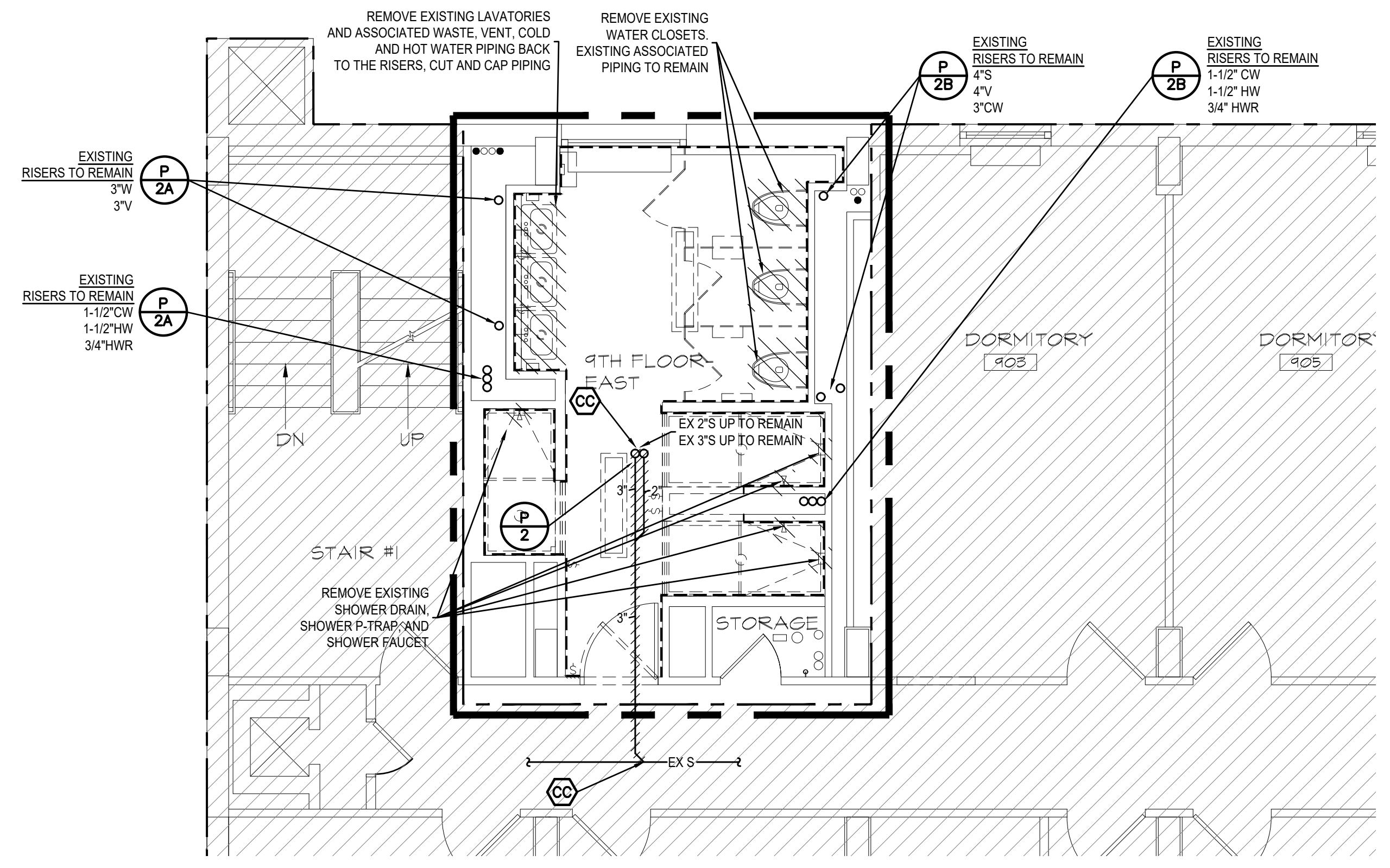
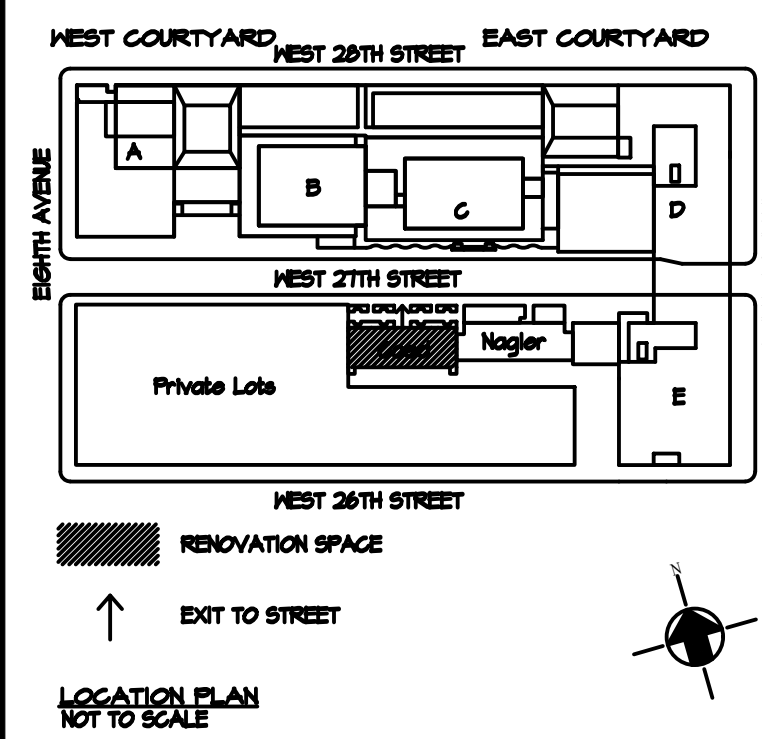
PROJECT:
 CO-ED RESIDENCE HALL BATHROOM
 RENOVATIONS - 9TH-10TH FLOORS
 230 WEST 27TH ST
 NEW YORK NY 10001

DRAWING TITLE:
 PLUMBING SPECIFICATIONS

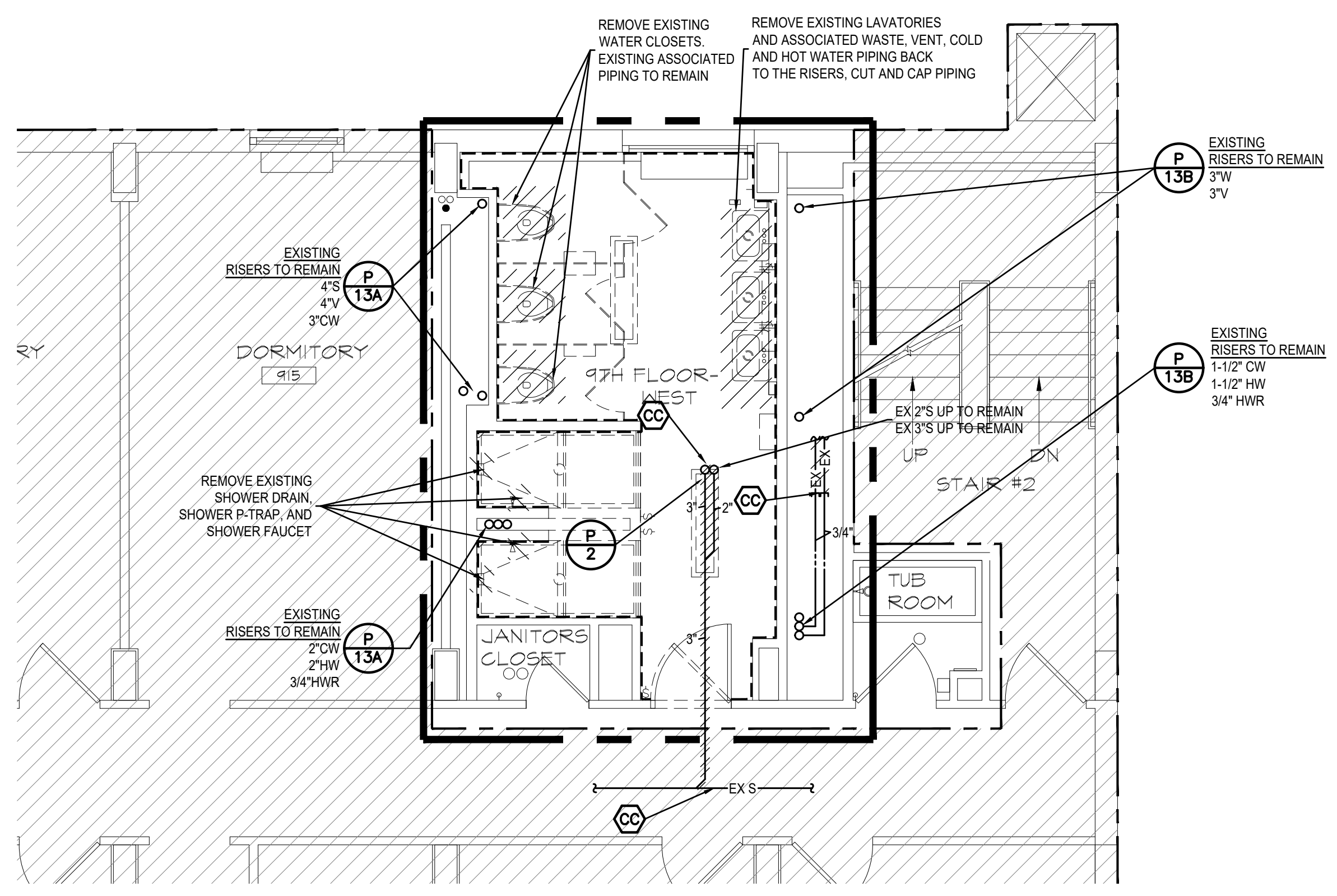
SEAL & SIGNATURE:	DATE: 03.15.2022
	PROJECT No: 15224.110
	DRAWING BY: C.N.
	CHK BY: V.M.
	DWG No:
	P-002.00
	SCALE: NTS
	2 OF 4

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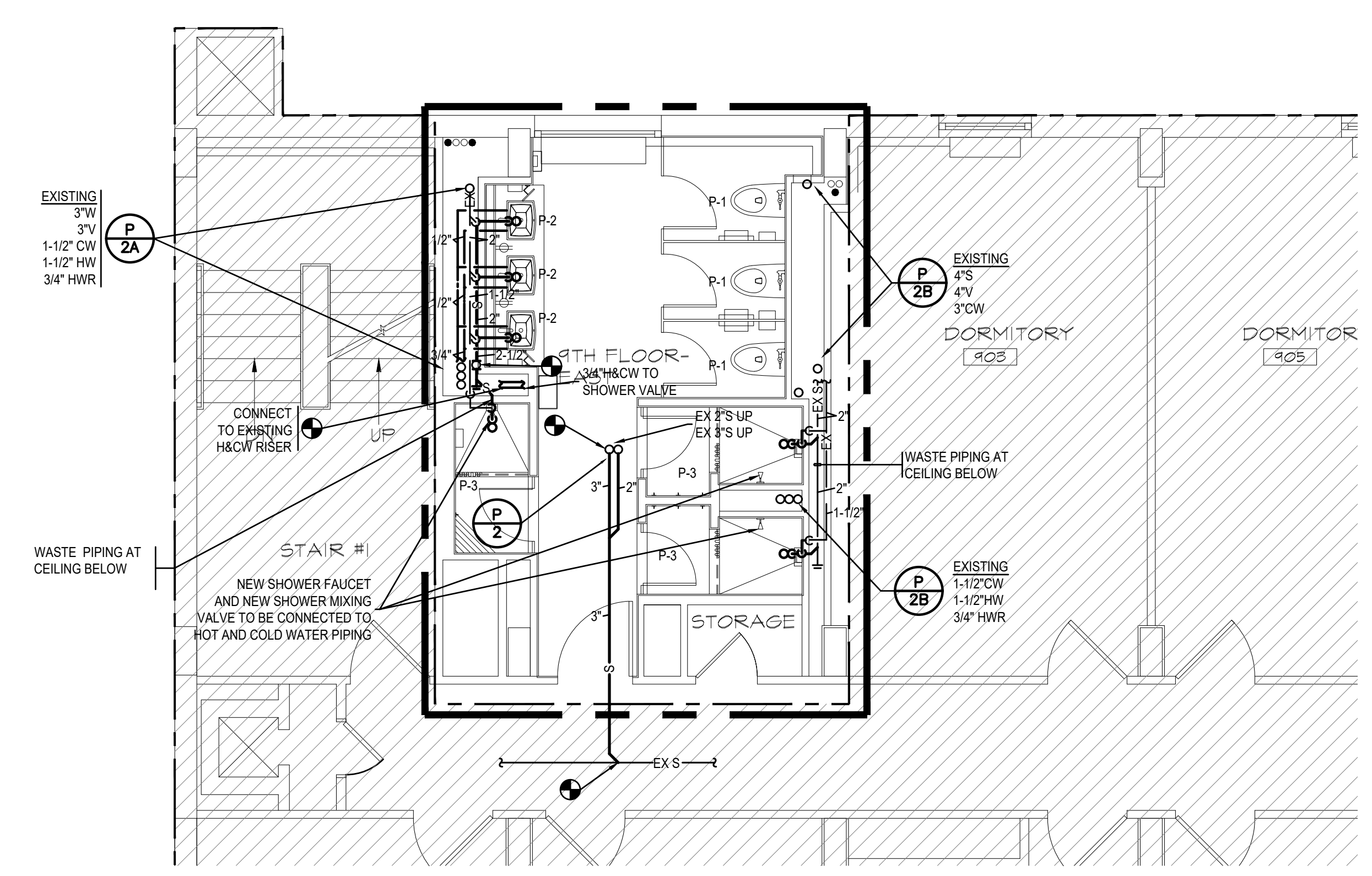
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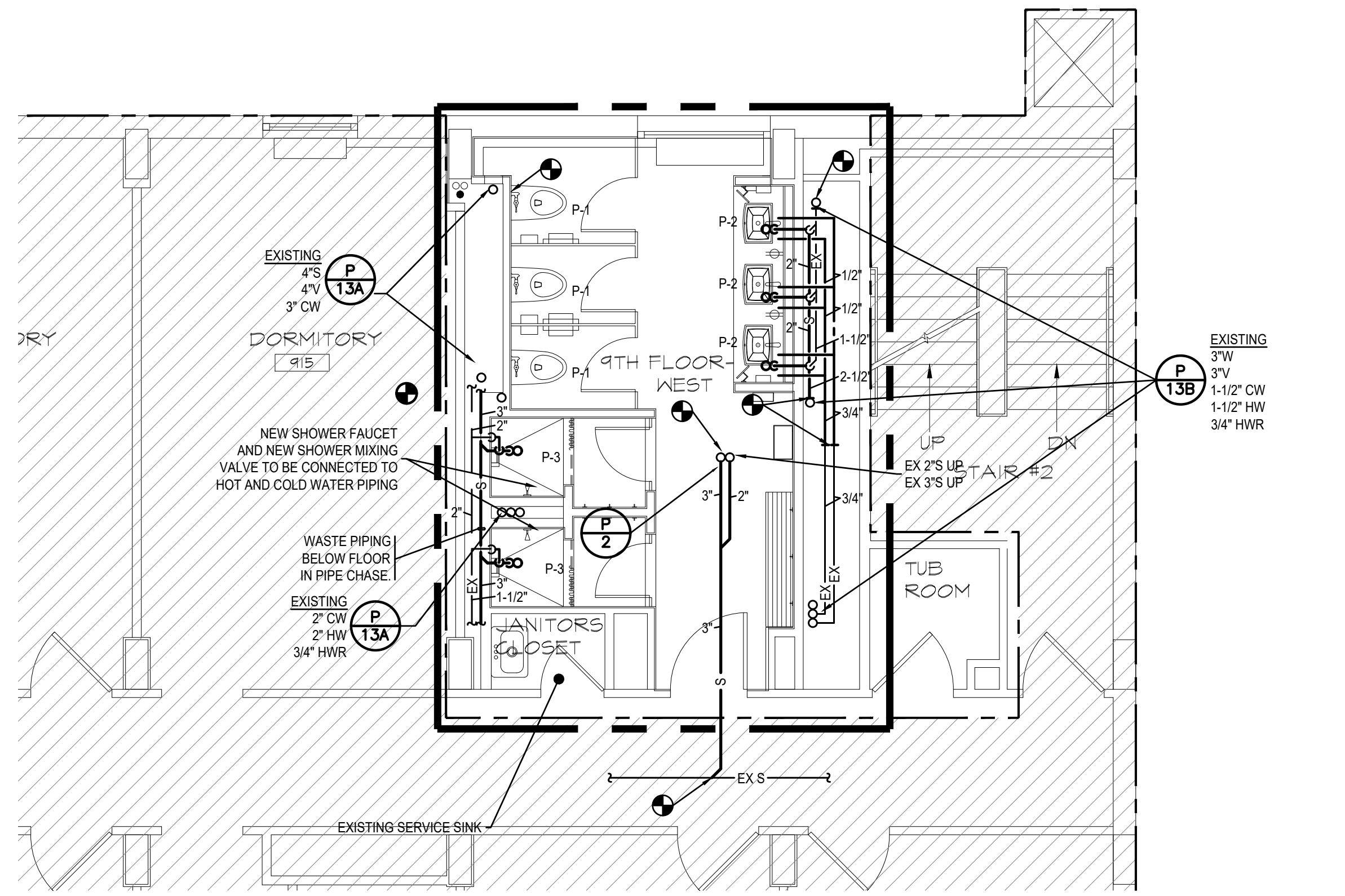
1 PART PLAN DEMOLITION TYPICAL - FOR 9TH AND 10TH FLOORS EAST SIDE BATHROOMS
SCALE: 1/4" = 1'-0"



2 PART PLAN DEMOLITION TYPICAL - FOR 9TH AND 10TH FLOORS WEST SIDE BATHROOMS
SCALE: 1/4" = 1'-0"



3 PART PLAN NEW WORK TYPICAL - FOR 9TH AND 10TH FLOORS EAST SIDE BATHROOMS
SCALE: 1/4" = 1'-0"



4 PART PLAN NEW WORK TYPICAL - FOR 9TH AND 10TH FLOORS WEST SIDE BATHROOMS
SCALE: 1/4" = 1'-0"

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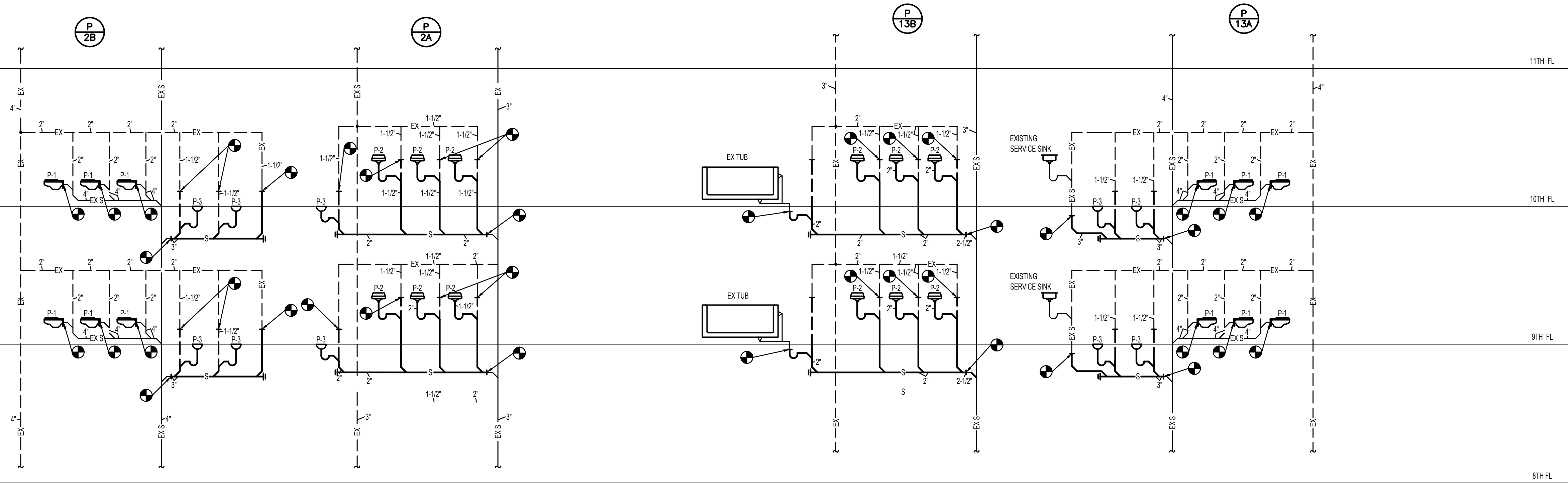
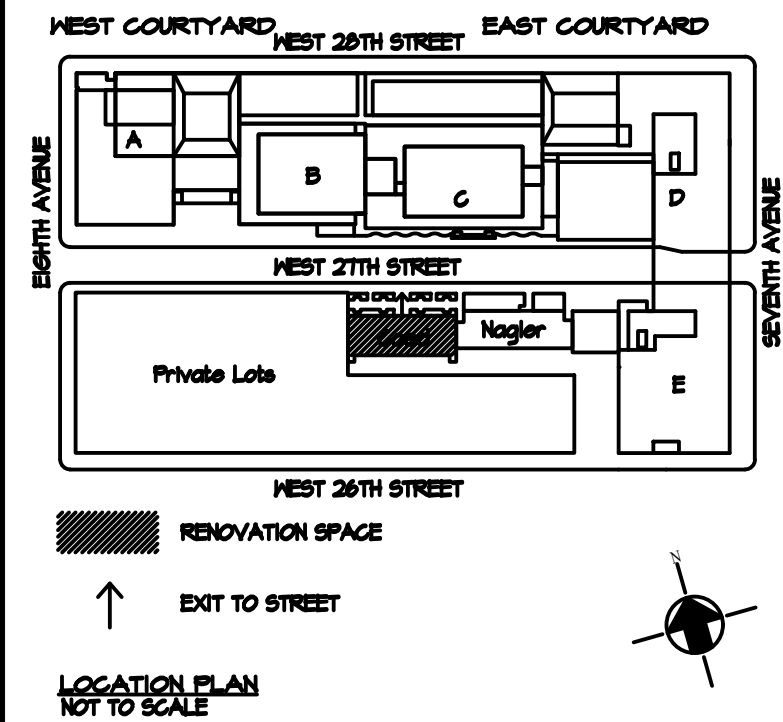
David Smotrich & Partners LLP
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PROJECT:
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NEW YORK NY 10001

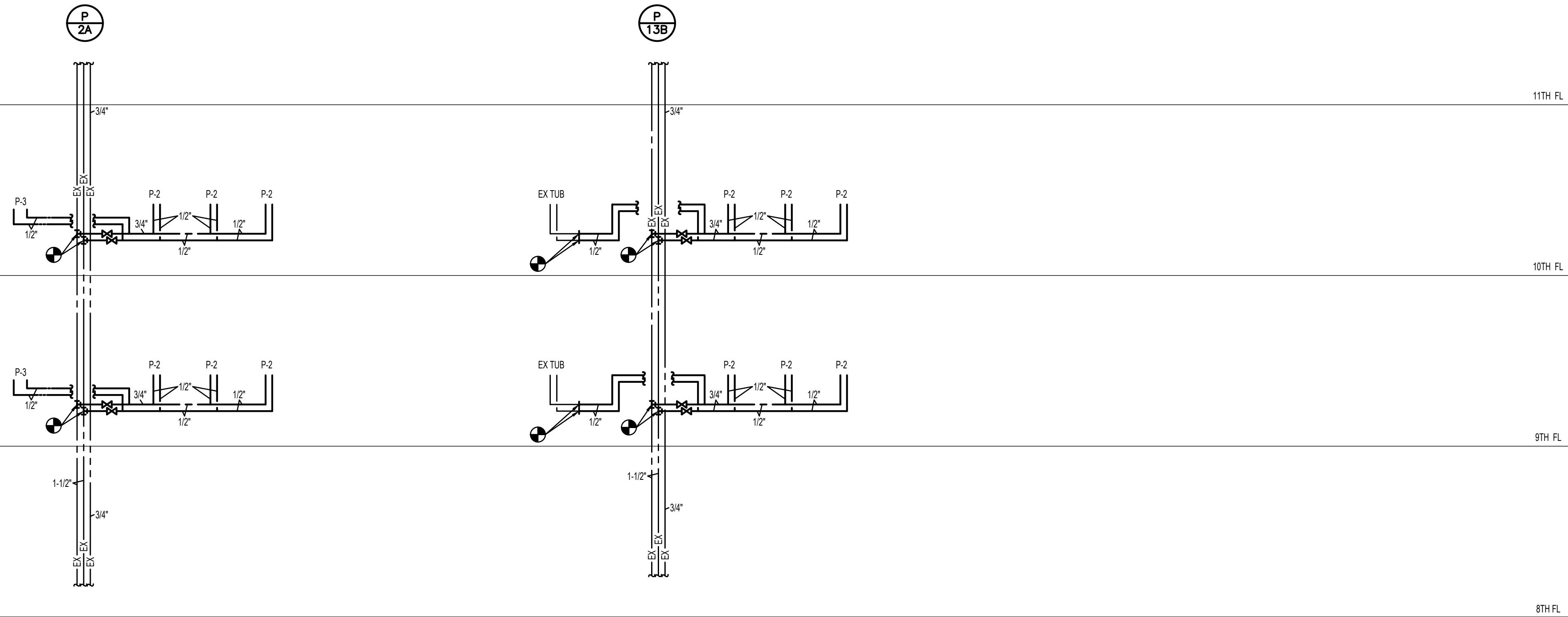
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PLUMBING 9TH AND 10TH FLOORS
PARTIAL PLANS DEMOLITION AND
NEW WORK

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	DWG No: P-100.00
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03.17.22 ISSUED FOR BID



1 SANITARY RISER DIAGRAM
P-200 SCALE : NTS



2 WATER RISER DIAGRAM
P-200 SCALE : NTS

- NOTES:
1. CONTRACTOR SHALL INSULATE ALL EXISTING C&HW PIPING
 2. CONTRACTOR SHALL SUPPORT IN A PROPER MANNER ALL EXISTING C&HW PIPING INCLUDING THE PIPING FEEDING THE SHOWER MIXING VALVE AND THE SHOWER ROD
 3. CONTRACTOR WILL REPLACE ALL STOP VALVES FOR THE LAVATORIES

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NEW YORK NY 10001

DRAWING TITLE:

PLUMBING RISERS DIAGRAM

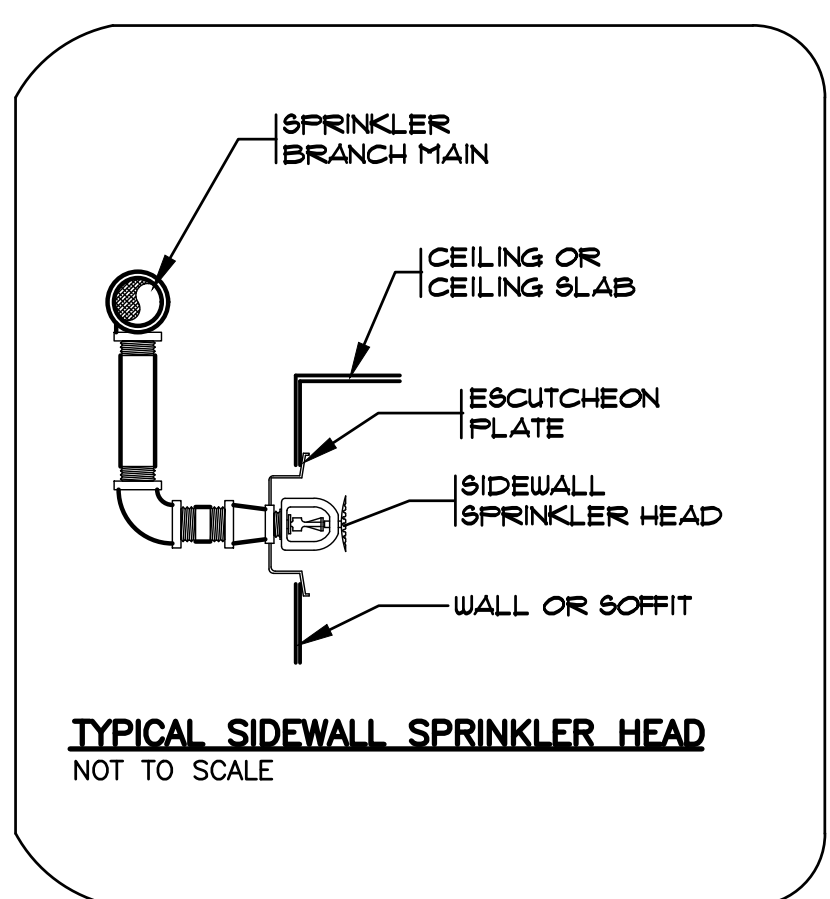
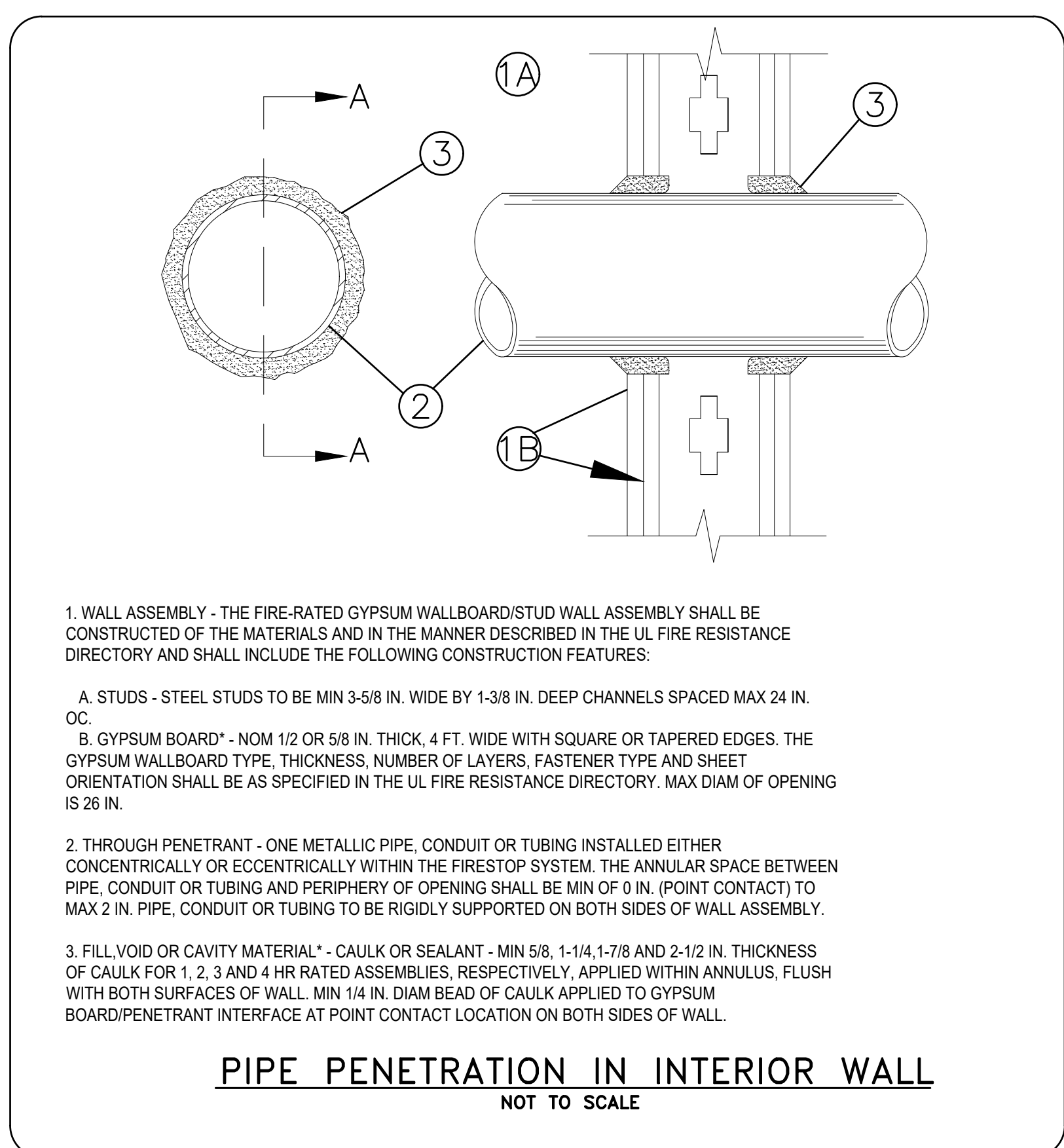
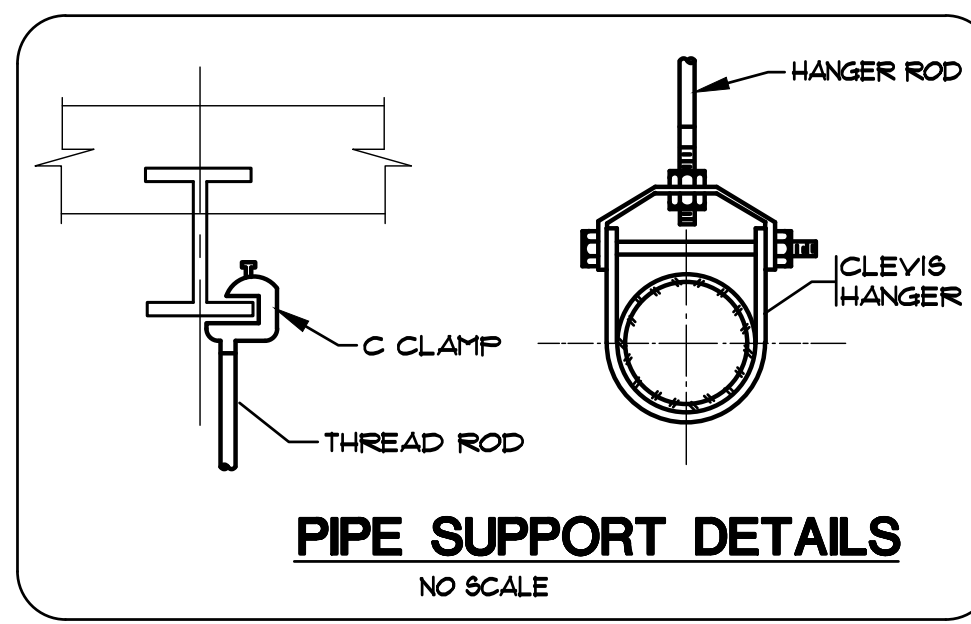
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	CHK BY: V.M.
	DWG No: P-200.00
SCALE: NTS	4 OF 4

SPRINKLER SYSTEM SYMBOLS & ABBREVIATIONS

SYMBOL	DESCRIPTION
— SP —	WET SPRINKLER PIPING (SP)
— DR —	SPRINKLER DRAIN PIPING (DR)
PO	CAPPED OR PLUNGGED OUTLET
→	DIRECTION OF FLOW
○	PIPE UP UNLESS OTHERWISE NOTED
⊖	PIPE DROP UNLESS OTHERWISE NOTED
— EX SP —	EXISTING SPRINKLER PIPING TO REMAIN
//// EX SP ////	EXISTING SPRINKLER PIPING TO BE DEMOLISHED
⊙ F 1	EXISTING FIRE STANDPIPE RISER
⊙ SP 1	EXISTING SPRINKLER RISER
⊙ DR 1	EXISTING SPRINKLER DRAIN RISER
⊙	CONNECT NEW PIPING TO EXISTING
⊙ CC	CUT AND CAP EXISTING PIPING
○	EXISTING SPRINKLER HEAD TO REMAIN
⊗	EXISTING SPRINKLER HEAD TO BE DEMOLISHED
→	NEW HORIZONTAL SIDEWALL SPRINKLER HEAD
10'-0"	CEILING HEIGHT
CLG	CEILING
CONN	CONNECT, CONNECTION
DWG	DRAWING
ELEC	ELECTRICAL
FCA	FLOOR CONTROL ASSEMBLY
GPM	GALLONS PER MINUTE
HVAC	HEATING, VENTILATION AND AIR CONDITIONING
MER	MECHANICAL EQUIPMENT ROOM
NTS	NOT TO SCALE
PLBG	PLUMBING

**NEW YORK CITY SPRINKLER NOTES
(FILED UNDER DECEMBER 31, 2014 NYC CODE)**

- THE INSTALLATION, COMPONENTS, SIZING, SPACING, LOCATION, CLEARANCES, POSITION AND TYPE OF SYSTEMS SHALL CONFORM TO NFPA 13-2007 AS AMENDED BY APPENDIX Q OF THE NYC BUILDING CODE 2014.
- AS PER PARAGRAPH 6.3 OF BC NFPA 13, ONLY APPROVED MATERIALS WILL BE USED.
- SPRINKLERS WILL BE PROTECTED AGAINST FREEZING AND INJURY AS PER CHAPTER 8.16.4 OF NFPA 13.
- INSPECTION AND TESTS OF SPRINKLER SYSTEM SHALL BE CONDUCTED AS SPECIFIED IN CHAPTER 26 OF NFPA 13 AS AMENDED BY BC Q102.
- THE OCCUPANCY OF THE AREAS TO BE SPRINKLERED IN ACCORDANCE WITH CHAPTER 3 OF THE NYC BUILDING CODE AND CHAPTER 5 OF NFPA 13 SHALL BE THOSE SPECIFIED ON THE PLANS.
- PIPING SPECIFICATIONS, SYSTEM TEST CONNECTIONS, PROTECTION AGAINST CORROSION, DAMAGE, FITTINGS, VALVES, HANGERS, SPRINKLERS, GUARDS AND SHIELDS SHALL BE IN ACCORDANCE WITH CHAPTER 6 OF NFPA 13 AS AMENDED BY BC Q102.
- PIPE SCHEDULE SYSTEMS SHALL BE IN ACCORDANCE WITH CHAPTER 22 OF NFPA 13 AS AMENDED BY BC Q102.
- STOCK OF EXTRA SPRINKLERS WILL BE FURNISHED AS PER PARAGRAPH 6.2.9 OF NFPA 13 (REQUIRED FOR EACH TEMPERATURE RATING).
- SPRINKLER ALARM WILL BE IN ACCORDANCE WITH PARAGRAPH 8.17 OF NFPA 13 AS AMENDED BY APPENDIX Q.
- SPACING, LOCATION AND POSITION OF SPRINKLERS WILL BE IN ACCORDANCE WITH CHAPTER 8 OF NFPA 13 AS AMENDED BY BC Q102.
- ALL CONCEALED SPACES EXCEEDING 6" IN WIDTH OR DEPTH WHICH CONTAIN COMBUSTIBLE MATERIAL WILL BE SPRINKLERED IN ACCORDANCE WITH PARAGRAPH 8.15.1 OF NFPA 13.
- THERE IS NO HIGH PILED STORAGE AS DEFINED IN PARAGRAPH 3.9.1.13 OF NFPA 13.
- DISTANCE OF SPRINKLERS FROM HEAT SOURCES SHALL BE IN ACCORDANCE WITH TABLE 8.3.2.5 (A) OF NFPA 13.
- ALL PIPES PASSING THROUGH FOUNDATION WALLS TO BE PROTECTED AS PROVIDED BY PARAGRAPH 23.1.6.2 OF NFPA 13.
- THIS APPLICATION IS NOT FILED AS A RESULT OF ACTIONS BY THE FIRE COMMISSIONER AS AUTHORIZED BY THE BSA, TO MODIFY THE CERTIFICATE OF OCCUPANCY NOR IS SUCH ACTION PENDING.
- HYDRAULICALLY DESIGNED SPRINKLER SYSTEMS SHALL BE IN ACCORDANCE WITH CHAPTER 22 OF NFPA 13 AS AMENDED BY BC Q102.
- A ONE-PIECE REDUCING FITTING SHALL BE USED WHEREVER A CHANGE IS MADE IN THE SIZE OF THE PIPE AS PER PARAGRAPH 6.4.6 OF NFPA 13.
- ALL VALVES SHALL BE IDENTIFIED AS REQUIRED BY PARAGRAPH 6.7.4 OF NFPA 13.
- DRAINAGE TO CONFORM TO PARAGRAPH 8.16.2 OF NFPA 13 AS AMENDED BY BC Q102.
- DRAIN VALVES AND TEST VALVES SHALL BE APPROVED TYPE AS PER PARAGRAPH 8.17.2.5 OF NFPA 13.
- HANGERS SHALL BE OF A TYPE APPROVED FOR USE WITH THE PIPE OR LUBE INVOLVED, SPRINKLER PIPING SHOULD BE SUPPORTED BY ROUND WROUGHT IRON OR APPROVED ADJUSTABLE HANGERS, IN ACCORDANCE WITH CHAPTER 9 OF NFPA 13 AS AMENDED BY BC Q102.
- PROVISIONS SHOULD BE MADE TO FACILITATE FLUSHING OF THE SYSTEM PIPING BY PROVIDING FLUSHING CONNECTIONS CONSISTING OF A CAPPED 4" NIPPLE ON THE END OF THE CROSS MAIN AS PER CHAPTER 8.16.3 OF NFPA 13.
- SPRINKLER HEADS SHALL BE AN APPROVED TYPE AS PER PARAGRAPH 3.6 OF NFPA 13.
- TEMPERATURE RATING SHALL COMPLY WITH CHAPTER 8.3.2 OF NFPA 13.
- 18" MINIMUM CLEARANCE TO BELOW SPRINKLER DEFLECTOR AS PER CHAPTER 8.5.6.1 OF NFPA 13.
- 1" TO 12" MINIMUM CLEARANCE TO BELOW SPRINKLER DEFLECTOR AS PER CHAPTER 8.6.4.1.1.1 OF NFPA 13.
- SPRINKLER SYSTEM SHALL COMPLY WITH NFPA 13-2007 AS MODIFIED BY THE NYC BUILDING CODE AND APPENDIX Q.
- DRY SYSTEMS SHALL BE IN ACCORDANCE WITH PARAGRAPH 7.2 OF NFPA 13 AS AMENDED BY BC Q102.
- THIS PLAN IS APPROVED ONLY FOR WORK INDICATED ON THE APPLICATION SPECIFICATION SHEET. ALL OTHER MATERS SHOWN ARE NOT TO BE RELIED UPON, OR TO BE CONSIDERED AS EITHER BEING APPROVED OR IN ACCORDANCE WITH APPLICABLE CODES.
- MINIMUM PIPE SIZE SHALL BE ONE INCH (1").
- THE OWNER SHALL ENGAGE THE SERVICES OF AN AGENCY APPROVED BY THE NYC DEPARTMENT OF BUILDINGS TO PERFORM ALL REQUIRED SPECIAL INSPECTIONS (BC 1704) AND PROGRESS INSPECTIONS (BC 110). SPECIAL AND PROGRESS INSPECTIONS SHALL BE PAID FOR BY THE OWNER. THE FOLLOWING ITEMS REQUIRE SPECIAL INSPECTION (CODE REFERENCES ARE TO THE DECEMBER 13, 2014 CODE):
SPRINKLER SYSTEMS BC 1704.23
FINAL INSPECTION 28-116.2.4.2 AND BC 110.5
THE FOLLOWING ITEMS REQUIRE PROGRESS INSPECTIONS:
FINAL INSPECTION 28-116.2.4.2 AND BC 110.5
- ALL INSPECTIONS AND TESTS WILL BE MADE IN COMPLIANCE WITH BC 1704.
- SPRINKLERS DURING ALTERATION: EXISTING SPRINKLER SYSTEMS IN BUILDINGS UNDERGOING AN ALTERATION SHALL BE MAINTAINED IN OPERATION. THE RED PAINT REQUIRED PURSUANT TO SECTION 903.6 OF THE BUILDING CODE SHALL BE MAINTAINED DURING ANY ALTERATION OPERATION.
- SPRINKLERS DURING DEMOLITION: WHEN EXISTING SPRINKLER SYSTEMS WITH FIRE DEPARTMENT HOSE CONNECTIONS ARE PRESENT IN BUILDINGS UNDERGOING FULL OR PARTIAL DEMOLITION, SUCH SYSTEMS SHALL BE MAINTAINED AS A NON-AUTOMATIC SPRINKLER SYSTEM. WHEN DEMOLITION STARTS, THE SPRINKLER RISERS SHALL BE CAPPED IMMEDIATELY BELOW THE FLOOR BEING DEMOLISHED SO AS TO MAINTAIN THE SPRINKLER SYSTEM ON ALL LOWER FLOORS FOR FIRE DEPARTMENT USE. CUTTING AND CAPPING OF SPRINKLERS DURING DEMOLITION WORK SHALL BE PERFORMED ONLY BY A LICENSED MASTER PLUMBER OR LICENSED MASTER FIRE SUPPRESSION PIPING CONTRACTOR WHO HAS OBTAINED A PERMIT FOR SUCH WORK. FIRE DEPARTMENT HOSE CONNECTIONS SHALL BE KEPT FREE FROM OBSTRUCTION AND SHALL BE MARKED BY A METAL SIGN READING "SPRINKLER CONNECTION" AND BY A RED LIGHT AT NIGHT. THE RED PAINT REQUIRED PURSUANT TO SECTION 903.6 OF THE BUILDING CODE SHALL BE MAINTAINED DURING ANY DEMOLITION OPERATIONS.



- NOTE:
- SPRINKLER CONTRACTOR IS RESPONSIBLE FOR COMPLETE PIPING LAYOUT, HYDRAULIC CALCULATION AND FILING WITH BUILDING DEPARTMENT. SPRINKLER DRAWINGS SHALL BE FULLY COORDINATED WITH ALL TRADES AND SHALL BE SEALED AND SIGNED BY THE CONTRACTOR'S PROFESSIONAL ENGINEER WHO SHALL BE RESPONSIBLE FOR HYDRAULIC CALCULATIONS.
 - THE OWNER SHALL MAKE A TELEPHONIC NOTIFICATION TO THE FDNY PRIOR TO TAKING THE SPRINKLER SYSTEM OUT OF SERVICE, AND THEN AGAIN WHEN THE SYSTEM IS RESTORED TO SERVICE, AS REQUIRED BY FIRE CODE SECTION 901.7.5.2. NOTIFICATION TO FDNY SHALL BE MADE BY TELEPHONING THE NON-EMERGENCY BOROUGH OF MANHATTAN FIRE DEPARTMENT PHONE NUMBER (212) 570-4300. PERSON MAKING SUCH NOTIFICATION MUST BE PREPARED TO PROVIDE INFORMATION REQUIRED BY FIRE CODE SECTION 901.7.5.3.
 - RICHARD MEILAN, HEREBY CERTIFY THAT THE HYDRAULIC PRESSURE OF THE EXISTING SYSTEM IS NOT TO BE CHANGED UNDER THE PROPOSED SCOPE OF WORK.
 - THE BUILDING CONTAINS DWELLING UNITS THAT WILL BE OCCUPIED DURING CONSTRUCTION AND ALL SAFETY MEASURES WITH RESPECT TO THE SAFETY AND HEALTH OF THE OCCUPANTS TO BE EMPLOYED SHALL COMPLY WITH 2008 NYC BUILDING CODE SEC. 28-104.8.4 / 1. EGRESS, 2. FIRE SAFETY, 3. HEALTH, 4. COMPLIANCE WITH HOUSING STANDARDS, 5. STRUCTURAL SAFETY AND 6. NOISE REDUCTIONS.
 - PROPERTY IS NOT IN A SFHA

SPRINKLER HEAD SCHEDULE

SYMBOL	MANUFACTURER MODEL No	SIZE	TYPE	SIN	RESPONSE	K-FACTOR	TEMP RATING	COVERAGE	APPROVED FINISHES	APPROVED ESCUTCHEONS	LOCATION
◀	RELIABLE, F1FR56	1/2"	HORIZONTAL SIDEWALL	RA1435	QUICK	5.6	155 F	STANDARD	CHROME	F1	

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PROJECT:
CO-ED RESIDENCE HALL BATHROOM RENOVATIONS - 9TH-10TH FLOORS
230 WEST 27TH ST
NEW YORK NY 10001

DRAWING TITLE:
SPRINKLER SYMBOLS, ABBREVIATIONS, NOTES, SCHEDULES, AND DETAILS

SEAL & SIGNATURE:

DATE: 03.15.2022
PROJECT No: 15224.110
DRAWING BY: G.N.
CHK BY: V.M.
DWG No: SP-001.00

SCALE: NTS 1 OF 4

NOT FOR CONSTRUCTION

SPRINKLER SPECIFICATION

1. GENERAL

A. THE CONTRACTOR SHALL PERFORM WORK OF THIS SECTION IN ACCORDANCE WITH THE GENERAL AND SPECIFIC CONDITIONS OF THIS SPECIFICATIONS.

B. ALL WORK AND MATERIALS SHALL COMPLY WITH APPLICABLE PROVISIONS OF THE NEW YORK CITY BUILDING CODE 2014, NFPA 13-2002 AMENDED BY APPENDIX Q.

2. WORK INCLUDED

A. WORK SHALL INCLUDE THE PROVIDING OF ALL LABOR, MATERIALS, EQUIPMENT, ACCESSORIES AND TESTS NECESSARY TO COMPLETE AND MAKE READY FOR OPERATION THE ALTERATION OF THE EXISTING SCHEDULE TYPE AUTOMATIC WET PIPE SPRINKLER SYSTEM WITH LIGHT OR ORDINARY HAZARD OCCUPANCY AS INDICATED ON THIS SPECIFICATIONS.

B. THE INSTALLATION SHALL BE ACCOMPLISHED BY AN AUTHORIZED SPRINKLER CONTRACTOR RECOGNIZED AS A FULLY EXPERIENCED SPECIALIST IN THE AUTOMATIC SPRINKLER SYSTEMS BY THE BUILDING DEPARTMENT OF THE CITY OF NEW YORK.

C. THE INSTALLATION SHALL BE MADE ON THE BASES OF ITEMS, METHODS AND REQUIREMENTS OF DEPARTMENT OF BUILDINGS OF THE CITY OF NEW YORK. THE PROVISIONS SHALL BE FOLLOWED IN TOTAL, WHETHER THE STIPULATIONS LISTED THEREIN ARE DIRECTED OR RECOMMENDED.

D. SEE ARCHITECTURAL, STRUCTURAL, MECHANICAL AND ELECTRICAL DRAWINGS FOR CONSTRUCTION AND INTERFERENCE DETAILS. ANY CHANGES THAT MAY BE NECESSARY BECAUSE OF THE PHYSICAL CONDITIONS OR COMPLIANCE WITH THE STANDARDS SHALL BE MADE UNDER THIS SECTION WITHOUT ADDITIONAL COSTS.

E. SYSTEM SHALL INCLUDE BUT NOT NECESSARILY LIMITED TO THE FOLLOWING:

- 1. REMOVAL OF ALL EXISTING SPRINKLER HEADS AND BRANCH PIPING AS INDICATED ON PLANS.
2. CONNECTION OF NEW SPRINKLER BRANCHES TO EXISTING CROSS MAIN.
3. NEW SPRINKLER HEADS OF THE TYPE INDICATED ON DRAWINGS.
4. ALL PIPING HANGERS SUPPORTS.
5. PREPARATION OF COMPLETE AND DETAILED WORKING DRAWINGS.
6. OBTAINING ALL NECESSARY APPROVALS, PERMITS AND CERTIFICATES INCLUDING FILING DRAWINGS, SIGNED AND SEALED WITH THE NEW YORK CITY BUILDING DEPARTMENT.
7. SHUTDOWN, DRAIN, TESTING IN COORDINATION WITH FIRE DEPARTMENT AND BUILDING MANAGEMENT.
8. CUTTING AND PATCHING.

F. WORKING PLANS

- 1. BEFORE COMMENCEMENT OF ANY WORK, COMPLETE AND DETAILED WORKING PLANS SHALL HAVE BEEN SUBMITTED AND APPROVED BY THE CITY OF NEW YORK AND OTHER AGENCIES HAVING JURISDICTION THEREOF. TWO CERTIFIED COPIES OF SUCH APPROVED WORKING PLANS SHALL BE FURNISHED TO THE OWNER PROMPTLY AFTER SUCH APPROVAL.
2. WORKING PLANS SHALL BE DRAWN TO APPROPRIATE SCALE ON TRACING CLOTH OR FILM.

G. INSURANCE. THIS SECTION SHALL CARRY LIABILITY AND WORKMAN'S COMPENSATION INSURANCE FOR THE DURATION OF THE CONTRACT AND PROTECT THE ARCHITECT AGAINST LAWSUITS FROM ACCIDENTS TO THE PUBLIC AND WORKMAN. ALL PREMIUMS ARE TO BE PAID BY THIS CONTINGENCIES IN CONNECTION TO THIS INSTALLATION OF THE WORK INCLUDED IN THIS SECTION.

3. INSTALLATION

A. SPECIFIC REFERENCE IN THIS SECTION OR ON THE DRAWINGS TO ANY ARTICLE, DEVICE, PROJECT, MATERIAL OR EQUIPMENT BY NAME, MAKE OR CATALOG NUMBER SHALL BE INTERPRETED AS ESTABLISHING A BASIS AND STANDARD QUALITY. ALL THE DEVICES SHALL BE OF THE MADE AND TYPE LISTED BY THE UNDERWRITERS LABORATORIES, INC., APPROVED BY THE LOCAL BUILDING CODE AND NFPA. NO CONSIDERATION WILL BE GRANTED FOR ANY ALLEGED MISUNDERSTANDING OF THE MATERIALS TO BE FURNISHED OR WORK TO BE DONE TO LACK OF INFORMATION ON THE DRAWINGS OR IN THE SPECIFICATIONS.

B. THIS CONTRACTOR SHALL MAKE MODIFICATIONS IN RESPECT TO LOCATIONS OF SPRINKLER HEADS, AS MAY BE REQUIRED BY FIELD CONDITIONS OR AS MAY BE FOUND NECESSARY BY THE ARCHITECT AT THE TIME OF INSTALLATION. FITTINGS, HANGERS, MEANS OF DRAINING SYSTEM AND ALL NECESSARY APPURTENANCES SHALL BE INSTALLED AS REQUIRED.

C. ANY CHANGES THAT MAY BE NECESSARY BECAUSE OF PHYSICAL CONDITION OR COMPLIANCE WITH THE STANDARDS AND REQUIREMENTS OF ANY AGENCY HAVING JURISDICTION SHALL BE MADE BY THIS CONTRACTOR WITHOUT ADDITIONAL COST TO THE OWNER.

D. THE SYSTEM SHALL BE SO INSTALLED THAT NO PART THEREOF WILL INTERFERE WITH DOORS, WINDOWS, HEATING, PLUMBING OR ELECTRICAL EQUIPMENT AND SPRINKLER HEADS SHALL NOT BE LOCATED CLOSER THAN ONE FOOT FROM LIGHTING FIXTURES OR OTHER OBSTRUCTIONS. IN CONNECTION THEREWITH, THE CONTRACTOR SHALL COORDINATE HIS WORK WITH THE OTHER TRADES SO AS TO AVOID ANY INTERFERENCE WITH THE AUTOMATIC SPRINKLER SYSTEM.

E. THIS CONTRACTOR SHALL FURNISH AND SET SLEEVES IN WALLS AS REQUIRED.

F. AFTER THE PIPING INSTALLATION HAS PASSED THE HYDROSTATIC TEST, ALL IRON AND STEEL PARTS SHALL BE THOROUGHLY CLEANED AND READY FOR PAINTING.

G. ALL PIPING SHALL BE ACCURATELY CUT TO MEASUREMENTS ESTABLISHED BY THIS CONTRACTOR AND SHALL BE WORKED INTO PLACE WITHOUT SPRINGING OR FORCING.

H. DRIPS AND DRAINS SHALL BE INSTALLED AT LOW POINTS AND WHERE REQUIRED AND SHALL DISCHARGE TO OPEN SLIGHT DRAINS OR TO INTERIOR FLOOR DRAINS.

I. ALL PIPE OPENINGS SHALL BE CAPPED OR PLUGGED DURING CONSTRUCTION AND ALL PIPING SHALL BE FLUSHED OUT BEFORE CLOSING SYSTEM.

J. THE USE OF BUSHING TO REDUCE THE SIZE OPENINGS OF FITTINGS IS PROHIBITED.

K. BEFORE ORDERING ANY MATERIAL OR DOING ANY WORK, THE CONTRACTOR SHALL VERIFY ALL MEASUREMENTS, CEILING HEIGHTS AND CONDITIONS AT THE SIZE AND WILL BE HELD RESPONSIBLE FOR THE CORRECTNESS OR THE SAME.

L. EXTRA CHARGES OR COMPENSATION WILL NOT BE ALLOWED ON ACCOUNT OF THE DIFFERENCES BETWEEN ACTUAL MEASUREMENTS AND THE DIMENSIONS SHOWN ON THE DRAWINGS, BUT ANY SUCH DIFFERENCES WHICH MAY BE FOUND SHALL BE SUBMITTED TO THE ARCHITECT FOR ADJUSTMENT, BEFORE PROCEEDING WITH WORK.

4. MATERIALS

A. PIPE SHALL BE SCHEDULE 40 BLACK STEEL WITH APPROVED STANDARD WEIGHT CAST IRON SPRINKLER FITTINGS.

B. SPRINKLER HEADS

1. SPRINKLER HEADS SHALL BE AS UNDERWRITERS LABORATORIES LISTED APPROVED OF ORDINARY DEGREE RATING EXCEPT AS OTHERWISE NOTED OF 165 F. AND SHALL BE CAST BRASS FUSIBLE LINK SPRAY TYPE WITH 1/2" DISCHARGE ORIFICE.

2. NEW PENDENT, UPRIGHT OR SIDEWALL TYPE SPRINKLER HEADS AS INDICATED ON DRAWING.

C. HANGERS, BRACKETS AND SUPPORTS

1. FURNISH AND INSTALL HANGERS, BRACKETS, BEAM CLAMPS, CLIPS, INSERTS AND MOUNTING DEVICES TO SUPPORT ALL PIPING IN ACCORDANCE WITH NFPA PAMPHLET No 13.

2. ESCUTCHEONS ON UNINSULATED PIPES SHALL BE HELD IN PLACE BY SET SCREWS.

3. WHERE SLEEVE OR FITTING PROJECTS SLIGHTLY FROM WALLS OR PARTITION, PROVIDE SPECIAL DEEP TYPE ESCUTCHEONS TO COVER EACH CASE.

E. NOT USED

5. ALTERATION WORK

A. THIS CONTRACTOR SHALL NOT INTERFERE OR SHUTDOWN THE EXISTING SPRINKLER SYSTEMS WITHOUT THE OWNER PERMISSION. ALL SHUTDOWNS OF THE EXISTING SYSTEM SHALL BE COORDINATED WITH THE OWNER BUILDING AND LOCAL FIRE DEPARTMENT.

B. REMOVE DEBRIS, RUBBISH AND SUPERSEDED MATERIAL FROM THE SITE DAILY. CLEAN WORK TO OWNER APPROVAL.

6. VISITING PREMISES

A. THIS CONTRACTOR, BEFORE SUBMITTING HIS BID ON THE WORK, MUST VISIT THE SITE AND FAMILIARIZE HIMSELF WITH ALL VISIBLE EXISTING CONDITIONS. AS A RESULT OF HAVING VISITED THE PREMISES, THIS CONTRACTOR SHALL BE RESPONSIBLE FOR THE INSTALLATION OF WORK AS IT RELATES TO VISIBLE EXISTING CONDITIONS.

B. THE SUBMISSION OF A BID WILL BE CONSIDERED IN ACKNOWLEDGMENT ON THE PART OF THE BIDDER OF HIS VISITATION TO THE SITE. NO ADDITIONAL COMPENSATION WILL BE ALLOWED FOR DIFFICULTIES OR ADDITIONAL WORK RELATED TO EXISTING VISIBLE CONDITIONS.

7. PAINTING

A. ALL FINISHED PAINTING OF PIPING SHALL BE DONE UNDER THIS SECTION.

B. ALL PIPING AND EQUIPMENT, WHETHER PAINTED IN SHOP, FACTORY OF FIELD, SHALL BE WIRE BRUSHED AND CLEANED OF DIRT, RUST, GREASE AND OTHER FOREIGN MATTER BEFORE PRIME COATING.

8. TESTS

A. THE ENTIRE SPRINKLER SYSTEM SHALL BE TESTED AS REQUIRED IN THE NEW YORK CITY BUILDING CODE AND AS REQUIRED BY ALL AGENCIES HAVING JURISDICTION.

B. NO PART OF THE SYSTEM TO BE CONCEALED SHALL BE COVERED UP OR CLOSED IN UNTIL SUCH PORTIONS HAVE BEEN TESTED AND APPROVED.

C. CONTRACTOR SHALL NOTIFY THE ARCHITECT AND THE VARIOUS AGENCIES, DEPARTMENTS AND BUREAUS HAVING JURISDICTION IN ADVANCE OF THE TIME THAT THE TESTS ARE TO BE MADE. GIVE NOT LESS THAN 48 HOURS NOTICE.

D. THE SPRINKLER SYSTEM SHALL BE HYDROSTATIC ALLY TESTED AT THE PRESSURE OF 200 PSIG, FOR TWO HOURS WITH NOT LEAKS.

9. GUARANTEE

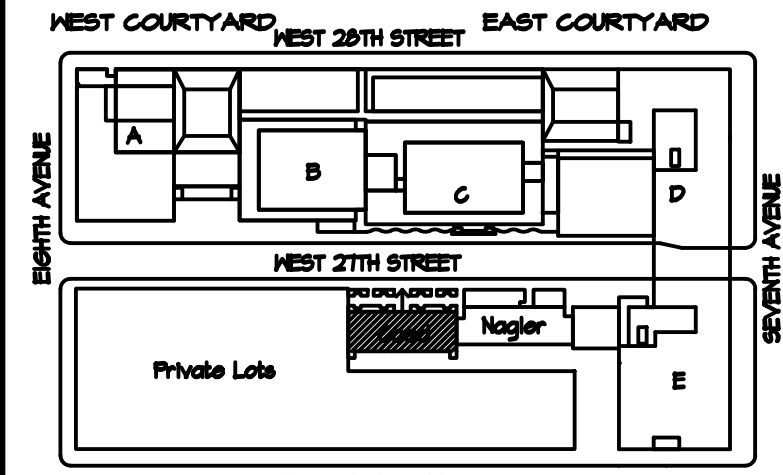
A. THIS SPRINKLER CONTRACTOR SHALL SUBMIT IN WRITING (TRIPPLICATE) A GUARANTEE OF THIS SPRINKLER WORK IN ACCORDANCE WITH THE STANDARD CONDITIONS AS ESTABLISHED UNDER THE AIA RULES AND REGULATIONS.

B. SUCH GUARANTEED SHALL BE FOR A PERIOD OF ONE (1) YEAR AFTER THE FINAL ACCEPTANCE OF THE WORK, AND SHALL INCLUDE THE MAKING OF ANY REPAIRS WHICH MAY BE REQUIRED OWING TO THE DEFECTIVE WORKMANSHIP AND MATERIALS.

C. THE GUARANTEE SHALL INCLUDE REPLACING SAME AT THIS SPRINKLER CONTRACTORS EXPENSE, INCLUDING ALL OTHER WORK DISTURBED BY SUCH REPAIRS AND WORK DAMAGED BY DEFECTIVE WORKMANSHIP AND MATERIALS UNDER THIS CONTRACT, TO THE ENTIRE SATISFACTION OF THE OWNER.

rev. no. date revisions

03/17/22 ISSUED FOR BID



RENOVATION SPACE

EXIT TO STREET

LOCATION PLAN NOT TO SCALE

Environmental Consultants EPM, Inc. 1983 Marcus Ave. Suite 109 Lake Success, NY 11042 / (516) 328-1194

MEP Consultant MG Engineering D.P.C. 116 West 32nd Street New York, NY 10001 / (212) 643-9055

Fashion Institute of Technology Student Housing Corporation 230 WEST 27TH STREET NEW YORK, NY 10001

David Smotrich & Partners LLP Architects/Planners

443 Park Avenue South New York, NY 10016 212 889 4045 Fax 212 889 3672

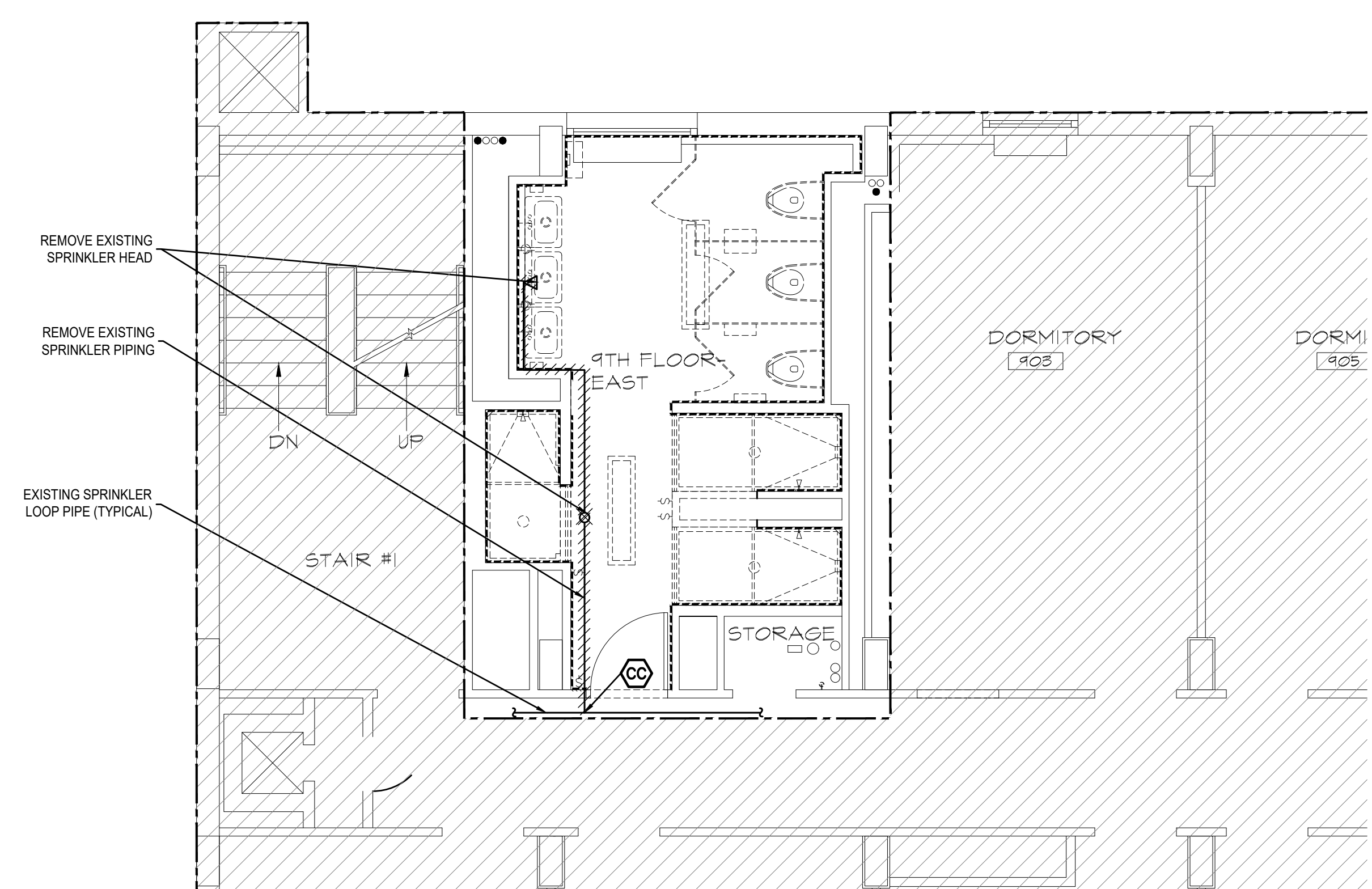
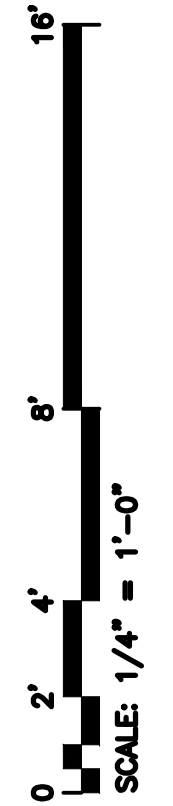
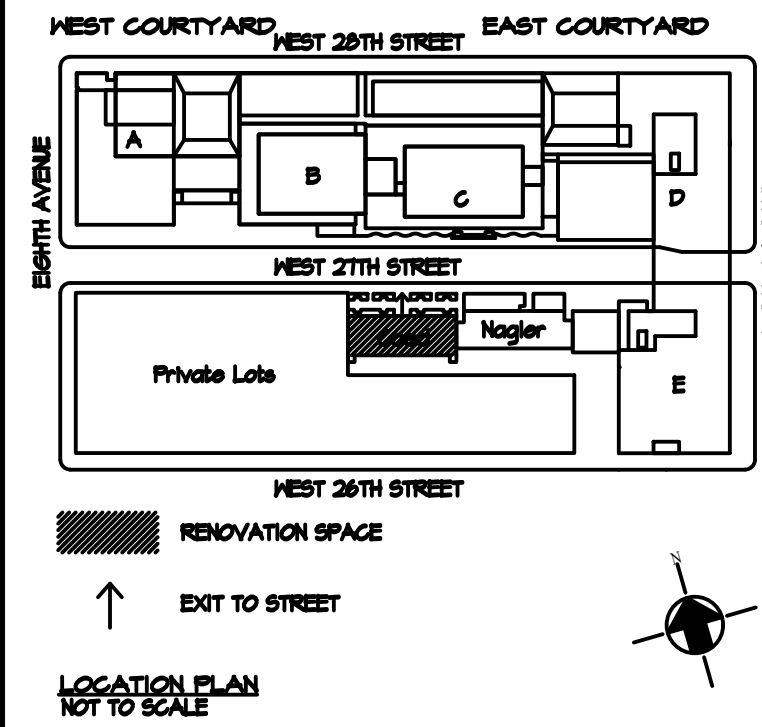
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DRAWING TITLE: SPRINKLER SPECIFICATION

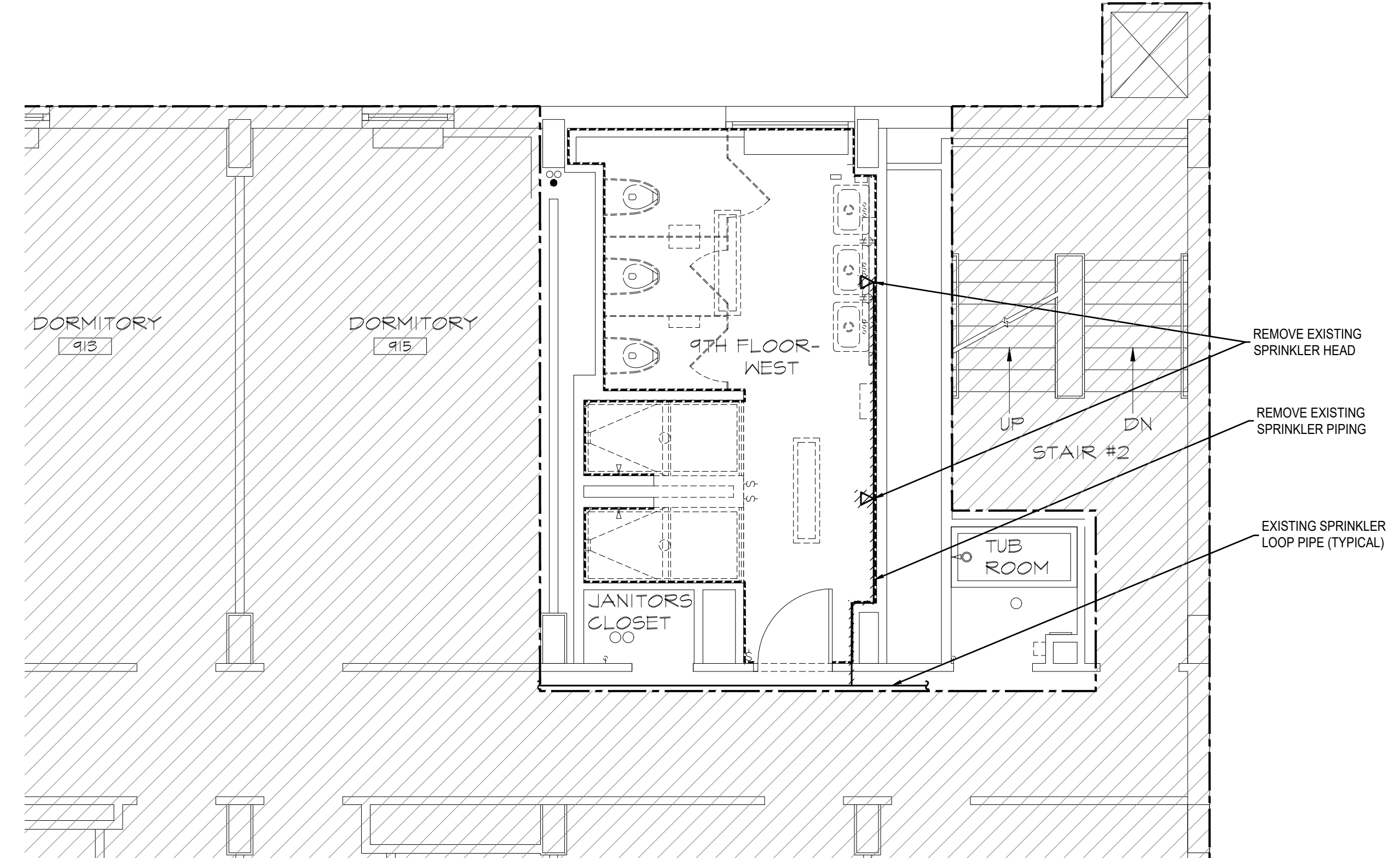
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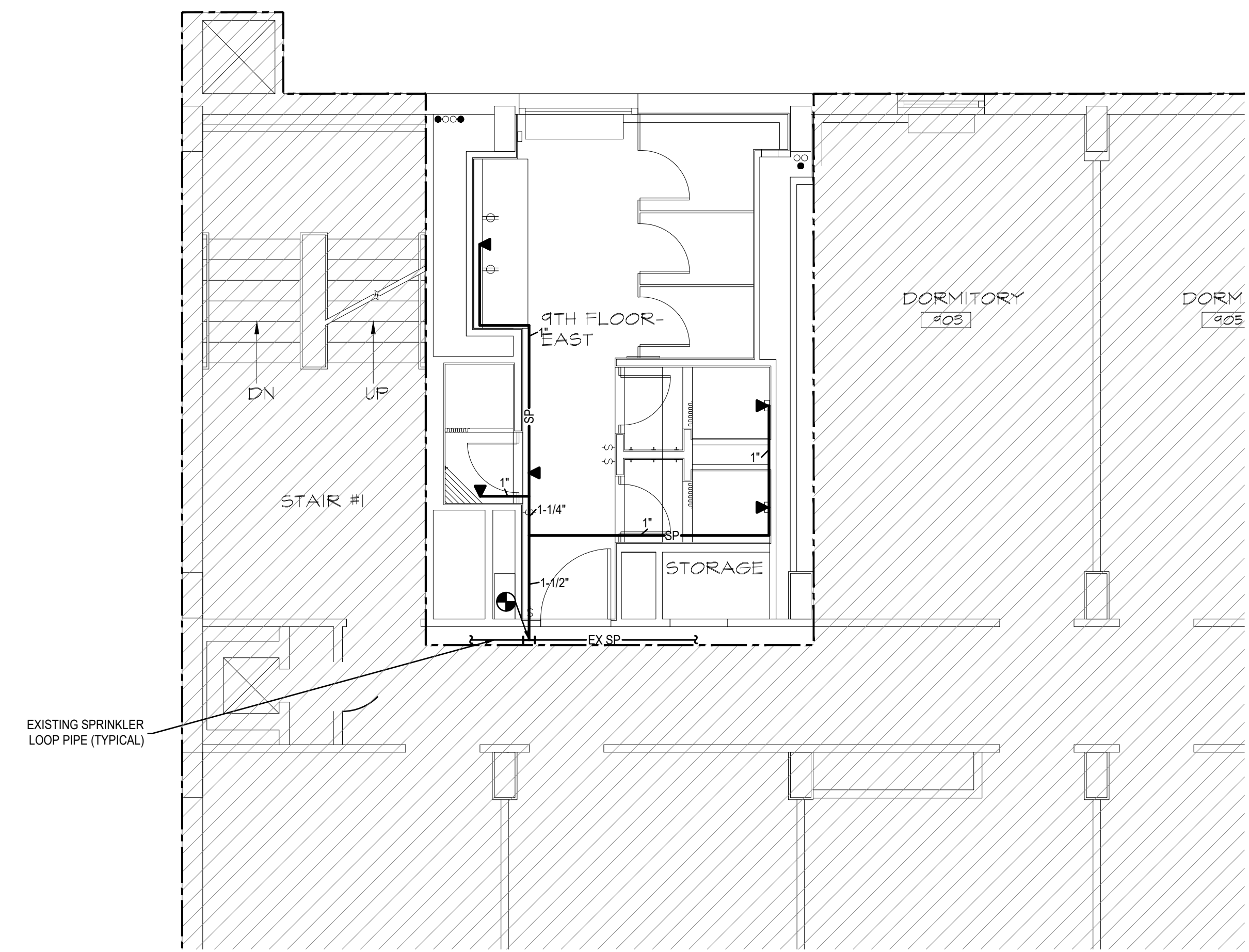
03.17.22 ISSUED FOR BID



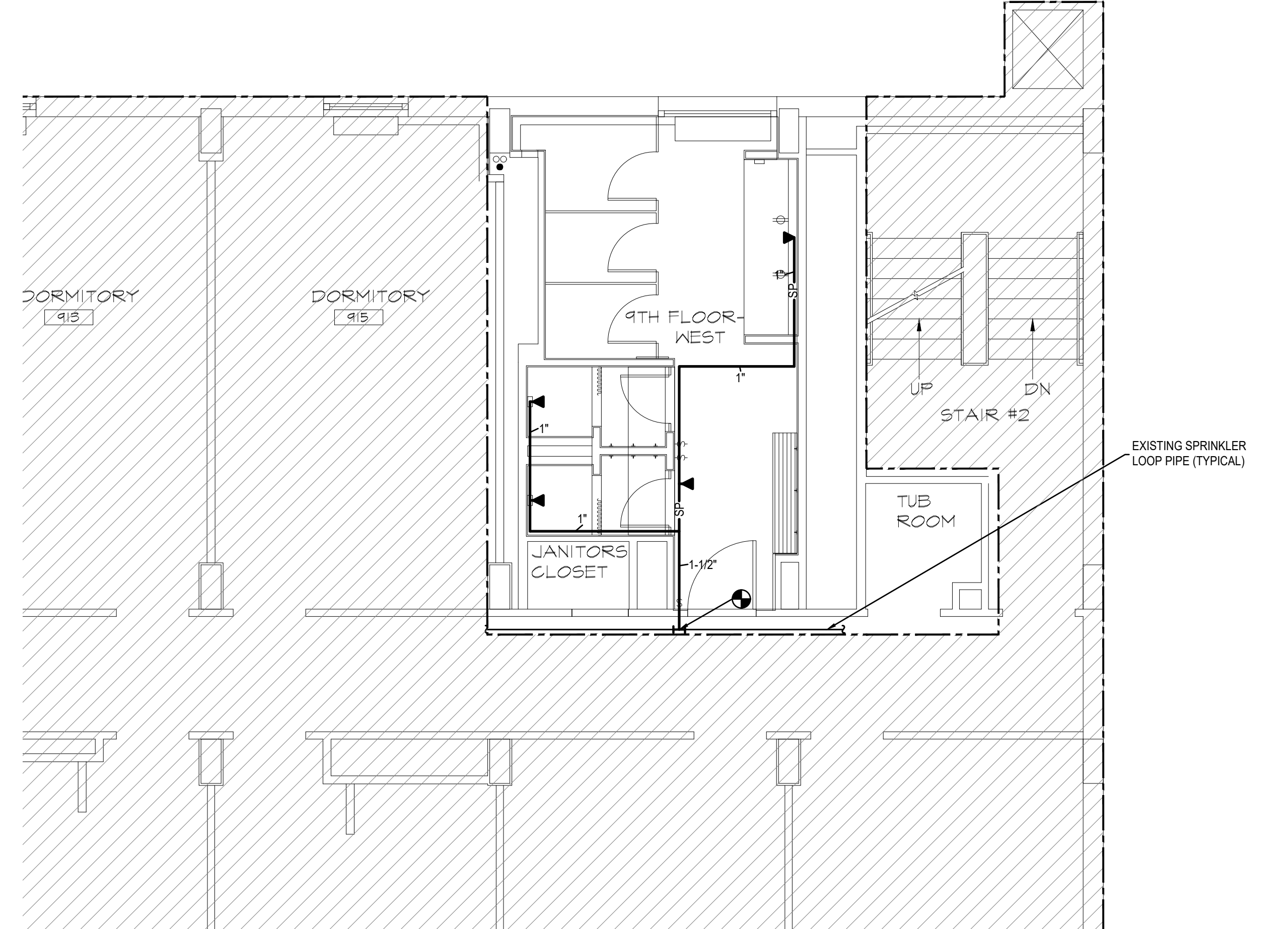
1 PART PLAN DEMOLITION TYPICAL - FOR 9TH AND 10TH FLOORS EAST SIDE BATHROOMS
SCALE: 1/4" = 1'-0"



2 PART PLAN DEMOLITION TYPICAL - FOR 9TH AND 10TH FLOORS WEST SIDE BATHROOMS
SCALE: 1/4" = 1'-0"



3 NEW WORK PLAN TYPICAL - FOR 9TH AND 10TH FLOORS EAST SIDE BATHROOMS
SCALE: 1/4" = 1'-0"



4 NEW WORK PLAN TYPICAL - FOR 9TH AND 10TH FLOORS WEST SIDE BATHROOMS
SCALE: 1/4" = 1'-0"

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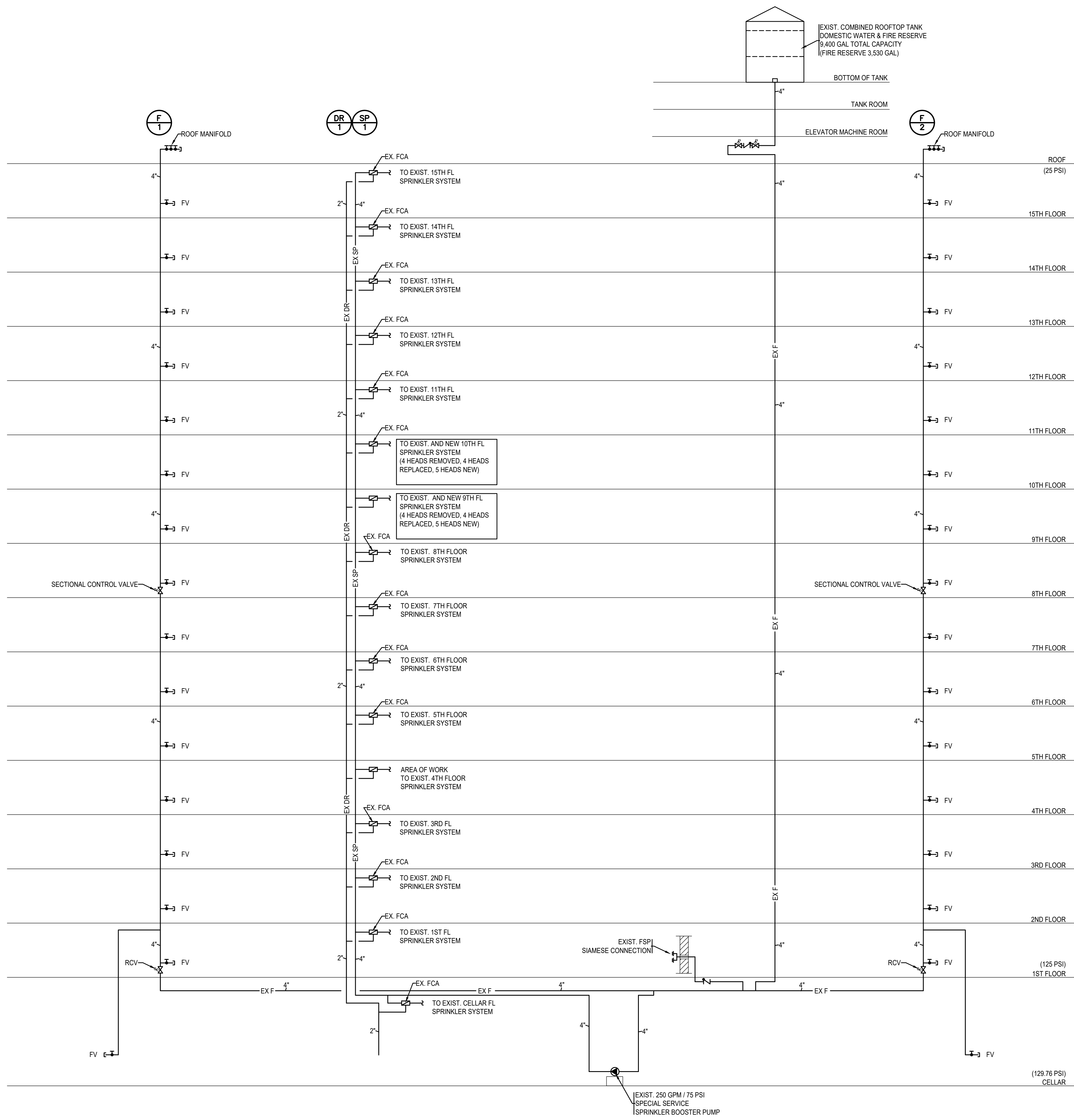
David Smotrich & Partners LLP
Architects/Planners

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New York, NY 10016
212 889 4045 Fax 212 889 3672

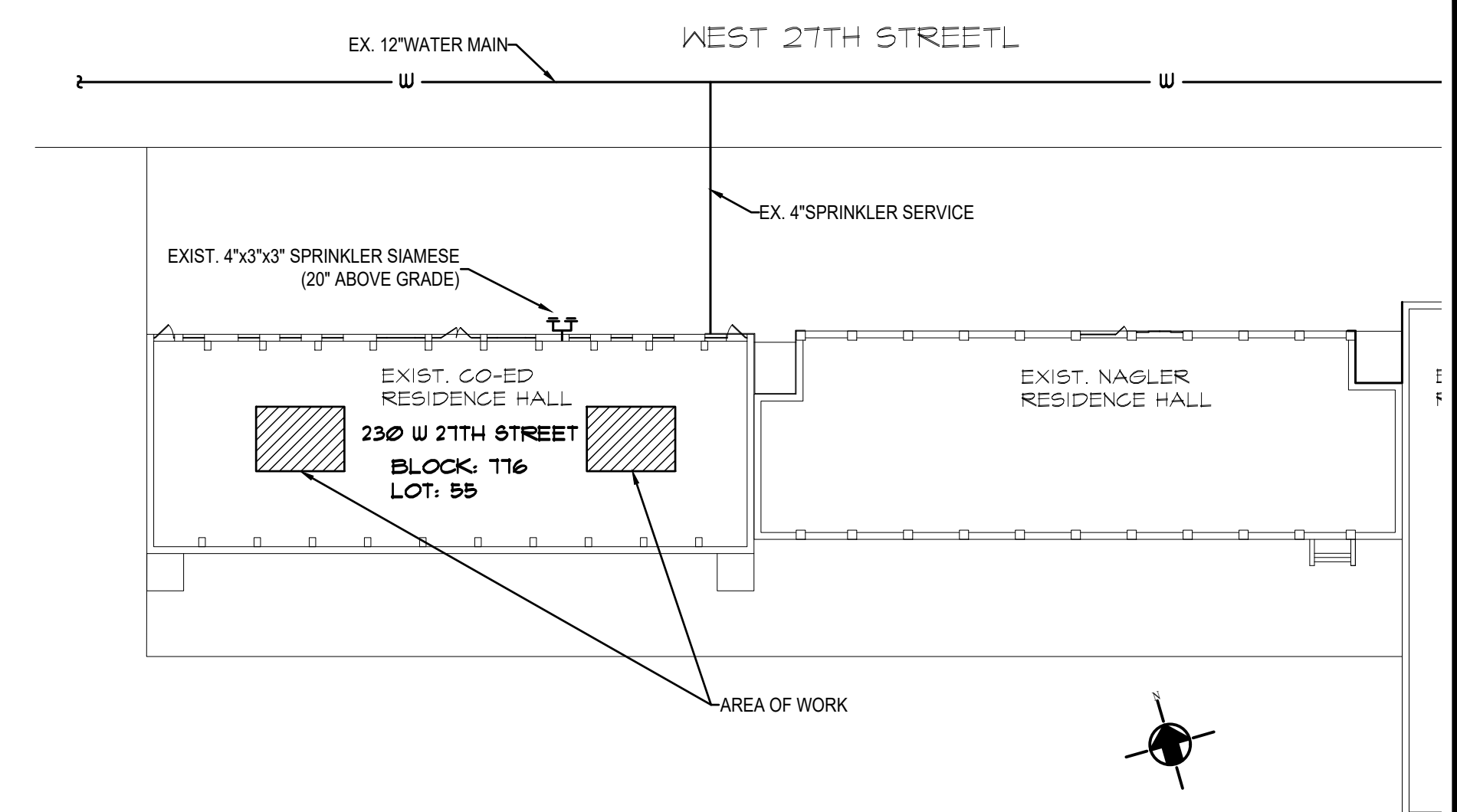
PROJECT:
CO-ED RESIDENCE HALL BATHROOM
RENOVATIONS - 9TH-10TH FLOORS
230 WEST 27TH ST
NEW YORK NY 10001

DRAWING TITLE:
SPRINKLER 9TH AND 10TH FLOORS
PARTIAL PLANS DEMOLITION AND
NEW WORK

SEAL & SIGNATURE:	DATE: 03.15.2022
	PROJECT No: 15224.110
	DRAWING BY: G.N.
	CHK BY: V.M.
	DWG No:
	SP-100.00
	SCALE AS NOTED
	3 OF 4



FIRE STANDPIPE / SPRINKLER RISER DIAGRAM
NTB



PLOT PLAN
NTB

NOT FOR CONSTRUCTION

REV. NO.	DATE	REVISIONS
03/17/22		ISSUED FOR BID

WEST COURTYARD	WEST 28TH STREET	EAST COURTYARD
<p>Private Lots</p> <p>EXIST. CO-ED RESIDENCE HALL</p> <p>EXIST. NAGLER RESIDENCE HALL</p> <p>230 W 27TH STREET</p> <p>BLOCK: 116</p> <p>LOT: 55</p>		
<p>AREA OF WORK</p>		
<p>RENOVATION SPACE</p>		
<p>EXIT TO STREET</p>		
<p>LOCATION PLAN</p> <p>NOT TO SCALE</p>		

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PROJECT:
CO-ED RESIDENCE HALL BATHROOM
RENOVATIONS - 9TH-10TH FLOORS
230 WEST 27TH ST
NEW YORK NY 10001

DRAWING TITLE:

SPRINKLER RISER DIAGRAM

SEAL & SIGNATURE:	DATE: 03.15.2022
	PROJECT No: 15224.110
	DRAWING BY: C.N.
	CHK BY: V.M.
	DWG No: SP-200.00
	SCALE: NTS
	4 OF 4