



NOTICE TO ALL FIRMS

Date: April 18, 2022
To: All Prospective Bidders
From: Sam Li
Deputy Director for Purchasing
Re: Addendum Number 2
RFQ C1543 – CoEd Residence Hall Bathroom Renovations Floors 9 - 10

Notes:

1. The bid due date for this project has been changed to **April 22, 2022, 12:00 PM**. Your bid must be emailed to Purchasingbids@fitnyc.edu by **April 22, 2022, on or before 12:00 PM**.

Revisions:

Please find below a description and list of drawings which should be issued to the bidders as part of Addendum #2 for the Coed Bathroom Renovation on the 9th & 10th Floors:

1. Drawing P-101 is being REMOVED from the set.
2. Revised P-100 and P-200 includes revised direction regarding the piping to the existing risers. Additionally see response to Question 5.
3. Drawing A-104 is being added to the set. Drawing A-104 indicates the ceiling, wall and light fixture removals & replacements required on the 8th Floor to access the drain risers and install the new shower drains on the 9th floor. New tile and paint, to match existing, will need to be installed to patch the walls & ceilings.
4. DM-100 and DM-101 have been revised to show the removal & replacement of ceilings in the corridor in order to replace plumbing piping. Corridor ceilings are to be opened to perform the plumbing work. Once plumbing work is completed ceilings are to be patched, repaired, and painted to match existing.
5. New diffusers are being added to the showers on the 8th, 9th & 10th Floors. See revised A-104, A-100 Rev 1, A-101 Rev 1, A-102 Rev 1 and A-103 Rev 1 for locations. Revised Mechanical Plans will be issued separately.

Questions:

Q1. It is state in the bid documents “Subcontracting shall be permitted **not to exceed 35%**” as a General Contractor, are you asking us to self-perform 65% of the work?

A1. Yes, the selected General Contractor must self-perform 65% of the work.

Q2. Are the mirrors in the bathrooms frameless or framed? If framed, please provide framing details.

A2. Frameless

Q3. Please provide Bid Bond Form.

A3. We don't provide bid bond forms, it's something that you'll need to get from your bonding company. Each bonding company might use a different form. In the past, some bidders submitted a Document A310 with their bid from their bonding company.

Q4. Please confirm conditions of ceiling on floor below of 9th Floor.

A4. See drawing A-104 which is being issued as part of this addendum.

Q5. Please confirm how and where plumbing waste roughing are being run on floor below (plumbing riser diagram shows roughing being install on floor below) on 8th for 9th Floor bathroom and on 9th floor for 10th floor bathroom. According to site visit, it seems that all roughing is buried within slab.

A5. For the WC and lavatory the roughing is running above the slab behind the wall on the same floor. For showers roughing is running below the slab, on the ceiling of the floor below. All the plumbing work is shown on the riser diagram.

Q6. Please confirm where debris being taken out of building and material being loaded from? Are we using front entrance? If now please provide run length from elevator to door.

A6. Debris is to be removed and materials are to be brought in via the East Exit door and not the front entrance. The East Exit door is approximately 80'-0" from the 1st floor elevator. Adequate protection must be provided.

Q7. We are working on opposite sides of the floor which means we must protect entire corridor. Are we to remove and install protection every day or once protection is placed it can stay for the duration of the project?

A7. The protection can remain in place, but must be maintained by the Contractor throughout the project.

Q8. Please confirm if floors will be occupied at time of construction.

A8. The 8th, 9th & 10th Floors will be unoccupied during construction. Staff will be living in a few of the apartments in Apts:

11D
11J
12A
12L
13A
13J
13L
14A
14D
15A

Q9. Regarding the upcoming bid for the Coed Residence Hall Bathroom Renovations, Floors 9-10 Project, Section 071613 “Cementitious Waterproofing”, Page 2, Paragraph 2.01 A. is shown below. It cannot be bid by a contractor as written.

The products as specified do not exist or is not available as they are currently named and described.

- The “Thorseal” brand was discontinued. Thoro Systems Products no longer exists.
- The “Sonoblock” brand was discontinued. Sonneborn Building Products no longer exists.
- BASF no longer manufacturers products of this type.

Consequently, there is no reference standard product for the contractor to bid.

The acceptable equivalent products for your specified need manufactured by UGL is “**DRYLOK Powdered Masonry Waterproofer**”.

DRYLOK® PRODUCTS ARE PROUDLY MANUFACTURED IN SCRANTON, PA.

I respectfully request you update your specifications for future projects and consider **DRYLOK Powdered Masonry Waterproofer** as an “or equal” in an upcoming Addendum.

A9. “DRYLOK Powdered Masonry Waterproofer” Is acceptable or equal.

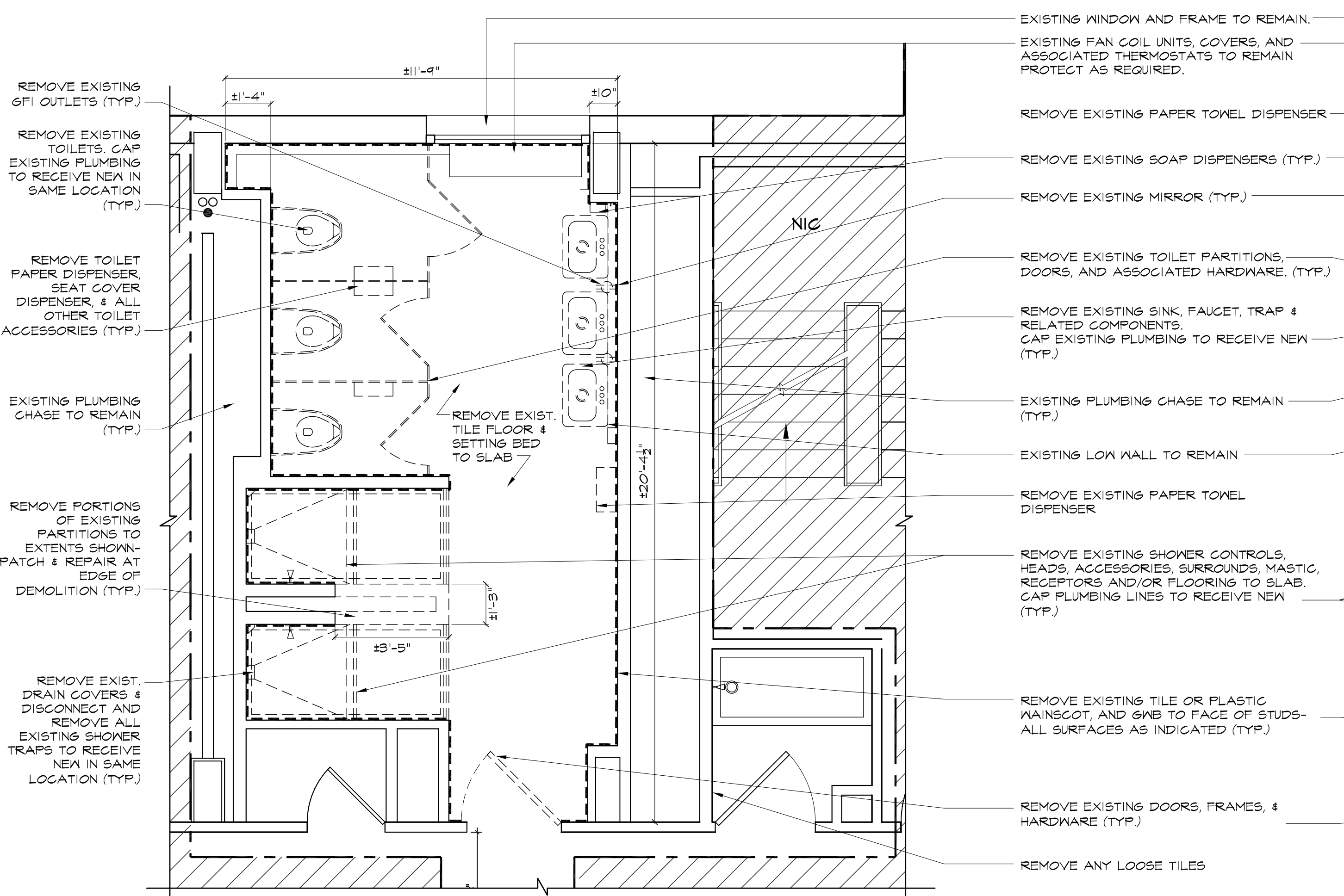
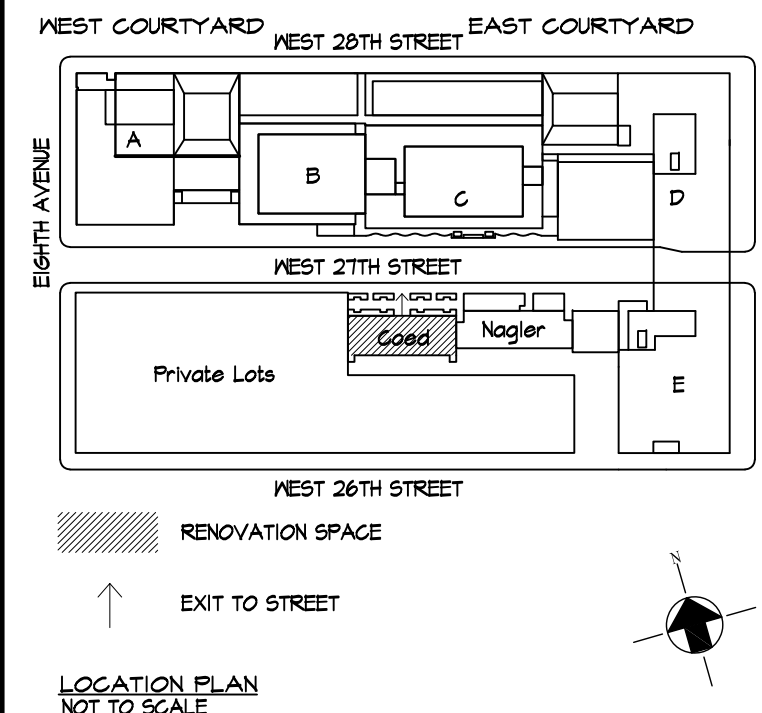
THIS ADDENDUM IS PART OF THE CONTRACT DOCUMENT AND SHALL BE INCLUDED WITH YOUR REQUEST FOR PROPOSAL SUBMITTAL. YOUR SIGNATURE BELOW WARRANTS THAT YOU UNDERSTAND THIS ADDENDUM AND THAT YOU HAVE MADE THE APPROPRIATE ADJUSTMENTS IN YOUR PROPOSAL AND CALCULATIONS.

Signature

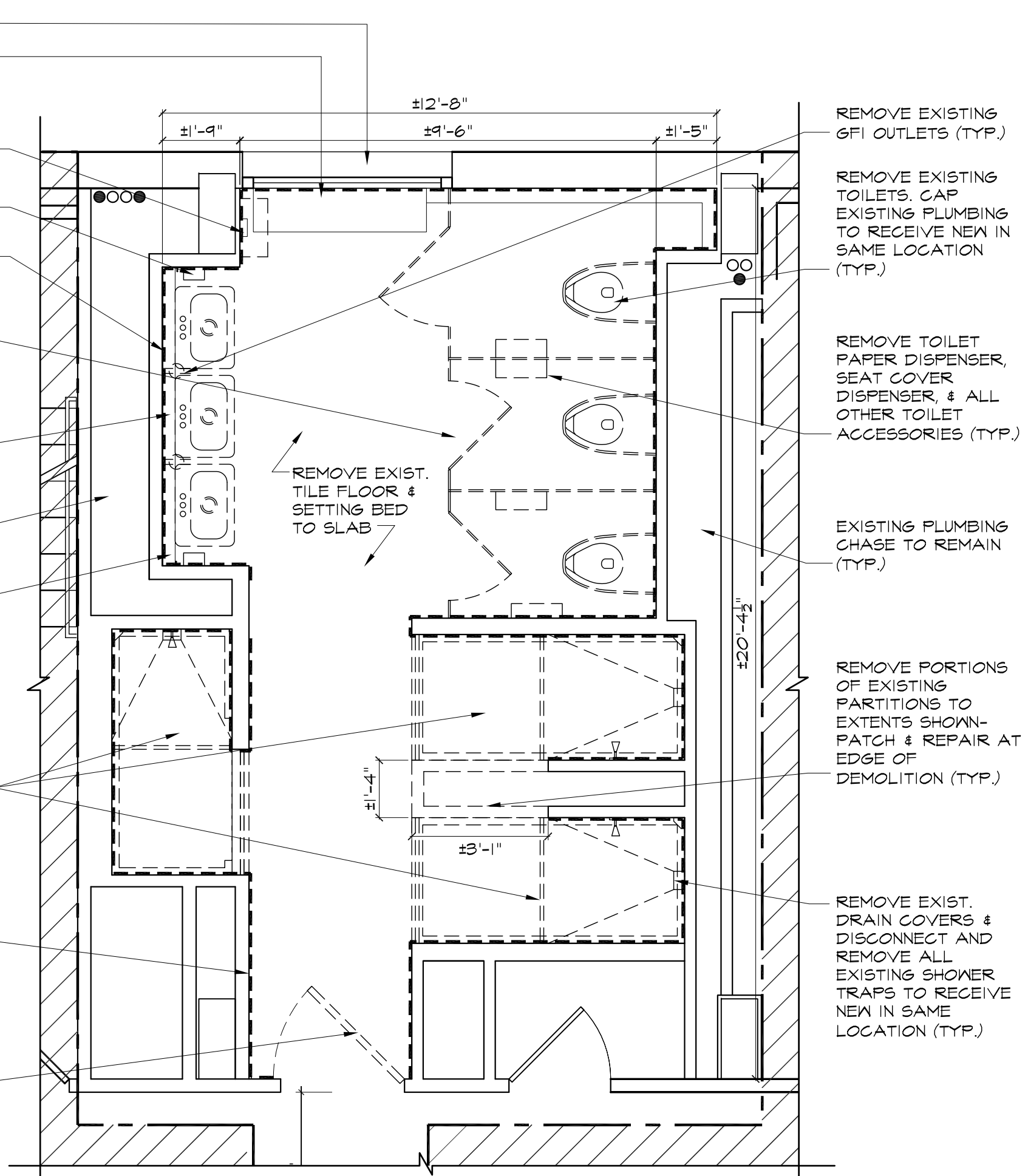
Print Name and Title of Authorized Representative

Print Name of Company/Partnership/Individual

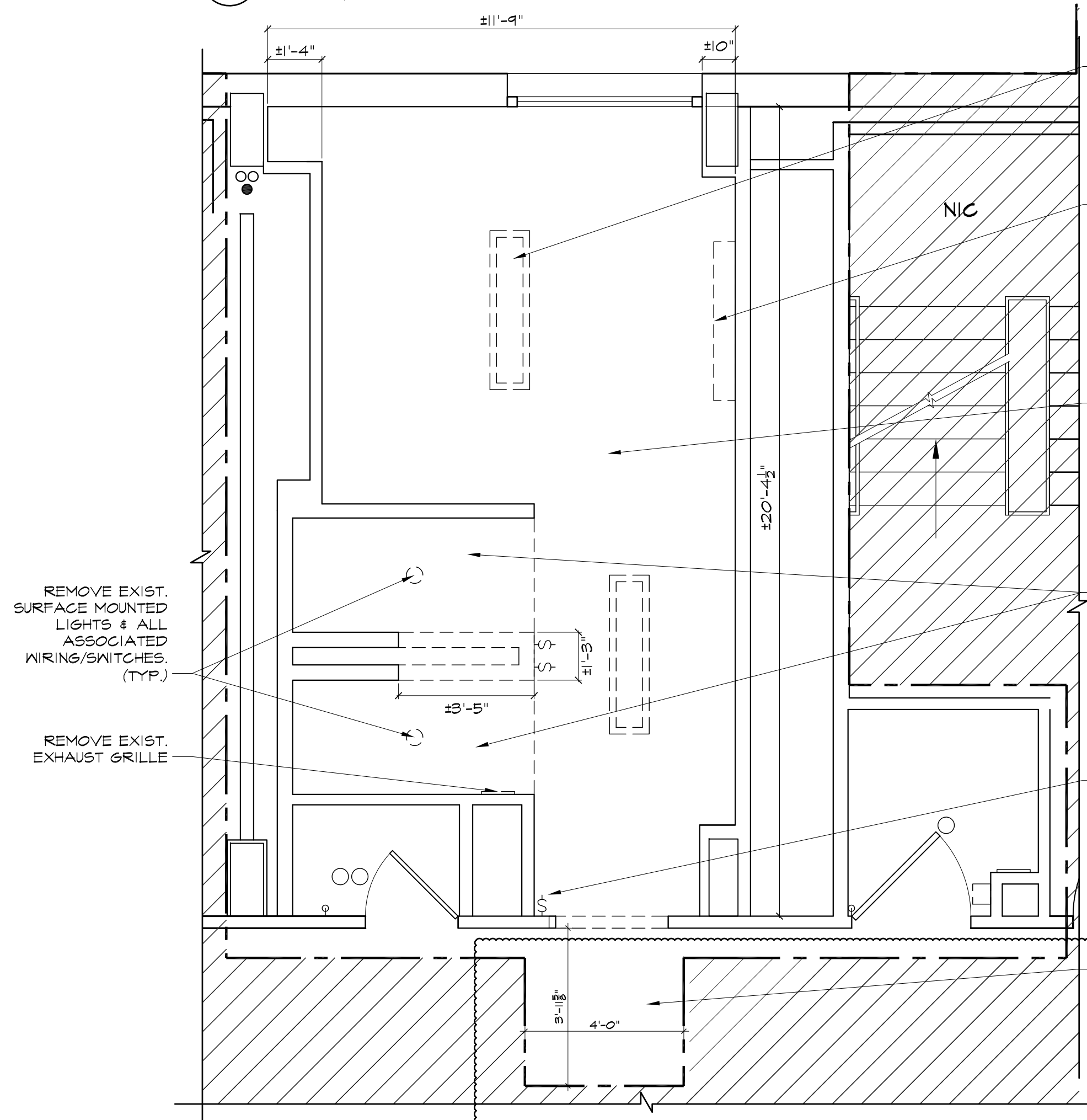
Date



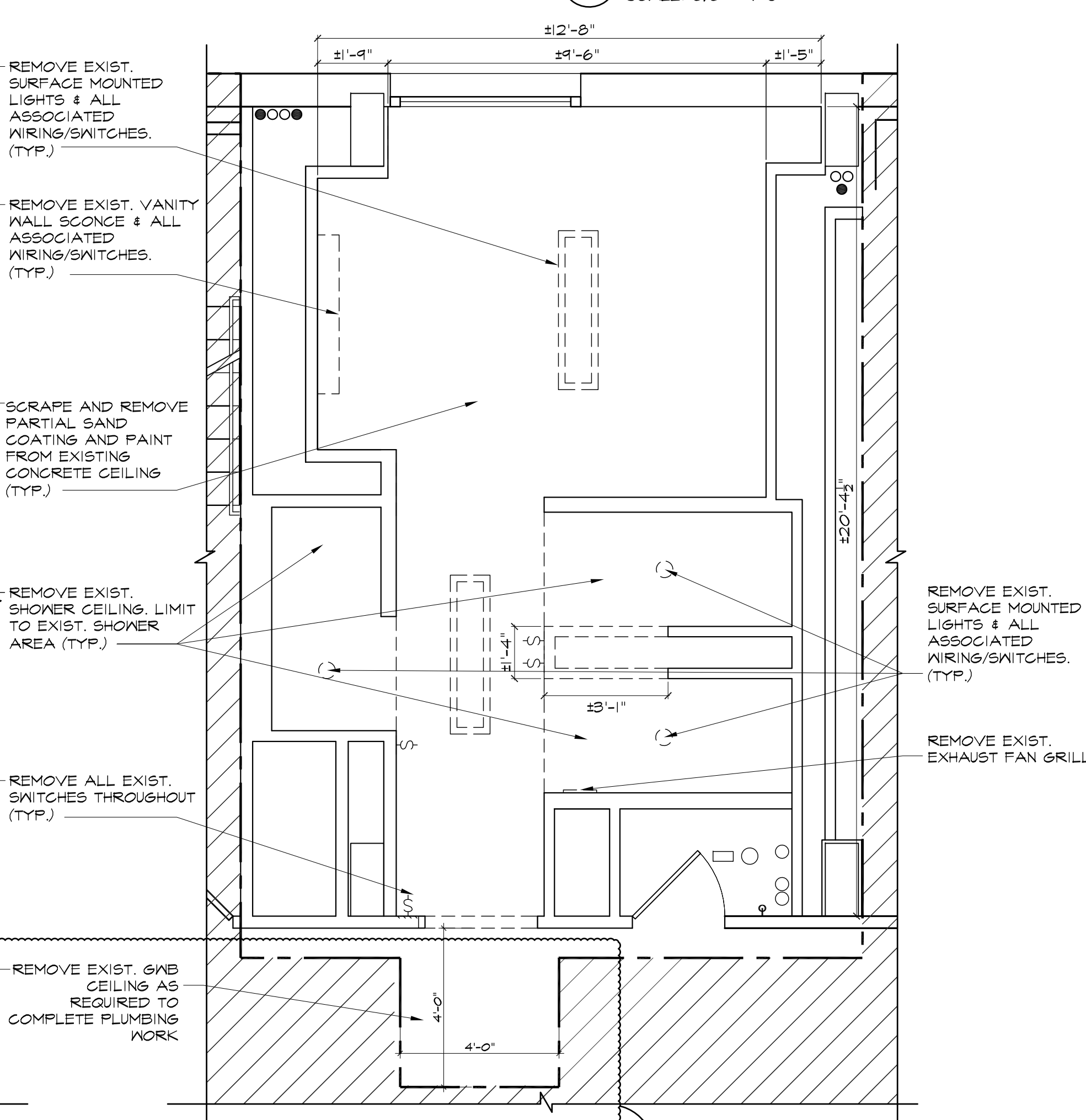
1 9TH FLOOR WEST BATHROOM DEMOLITION PLAN
SCALE: 3/8" = 1'-0"



2 9TH FLOOR EAST BATHROOM DEMOLITION PLAN
SCALE: 3/8" = 1'-0"



3 9TH FLOOR WEST BATHROOM DEMOLITION RCP
SCALE: 3/8" = 1'-0"



4 9TH FLOOR EAST BATHROOM DEMOLITION RCP
SCALE: 3/8" = 1'-0"

DEMOLITION NOTES

1. REMOVE ENTIRE EXISTING TILE FLOOR SETTING BED, SHOWER PANS, ETC. TO ORIGINAL SLAB. PROTECT & TEMPORARILY CAP EXISTING DRAIN AREAS AS REQUIRED.
2. REMOVE ALL EXISTING WALL TILE, SHOWER SURROUNDS (AND CLGS.), FASTENERS AND SUBSTRATE TO FACE OF EXISTING STUDS AS INDICATED ON DOCUMENTS. CONTRACTOR TO ASSUME RESPONSIBILITY FOR REPLACEMENT OF ANY DAMAGED STUDS AS A RESULT OF DEMOLITION, AT NO EXTRA COST TO OWNER.
3. SCRAPE AND SAND EXISTING CONCRETE CEILING (PAINTED 'COURSE SAND FINISH') TO BE LAMINATED W/ NEW WATER RESISTANT GAB.
4. TEMPORARILY CAP EXPOSED PIPING/ WIRING UNTIL READY TO INSTALL NEW APPLIANCES/FIXTURES.
5. REMOVE ABANDONED CONDUITS ONLY AFTER TESTING FOR 'LIVE' WIRING AND VERIFYING WITH OWNER THEY ARE NO LONGER IN USE.
6. AVOID DAMAGING EXISTING ELECTRIC CONDUITS TO REMAIN.
7. REMOVE ALL DEBRIS FROM INTERIOR OF CHASE TO BROOM CLEAN.
8. EXISTING FANCOIL UNIT & COVER TO REMAIN. PROTECT AS REQUIRED.
9. PROTECT AND COVER ALL RETURN AIR DUCTS AND VENTS THROUGHOUT THE DURATION OF DEMOLITION AND CONSTRUCTION.
10. CONTRACTOR TO ASSUME 10% OF ALL EXISTING STUDS WHICH ARE TO REMAIN REQUIRE REPLACEMENT.

LEGEND	
	EXIST. STUDS TO REMAIN. REMOVE ALL FINISHES AND EXIST. GAB EA. SIDE
	EXIST. STUDS TO REMAIN. REMOVE FINISHES AND GAB ONE SIDE.
	WALL TO BE REMOVED
	WALL TO REMAIN
	SURFACE MOUNTED LIGHT FIXTURE TO BE REMOVED
	AREA NOT IN CONTRACT

Environmental Consultants
EPM, Inc.
1983 Marcus Ave. Suite 109
Lake Success, NY 11042 / (516) 328-1194

MEP Consultant
MG Engineering D.P.C.
116 West 32nd Street
New York, NY 10001 / (212) 643-9055

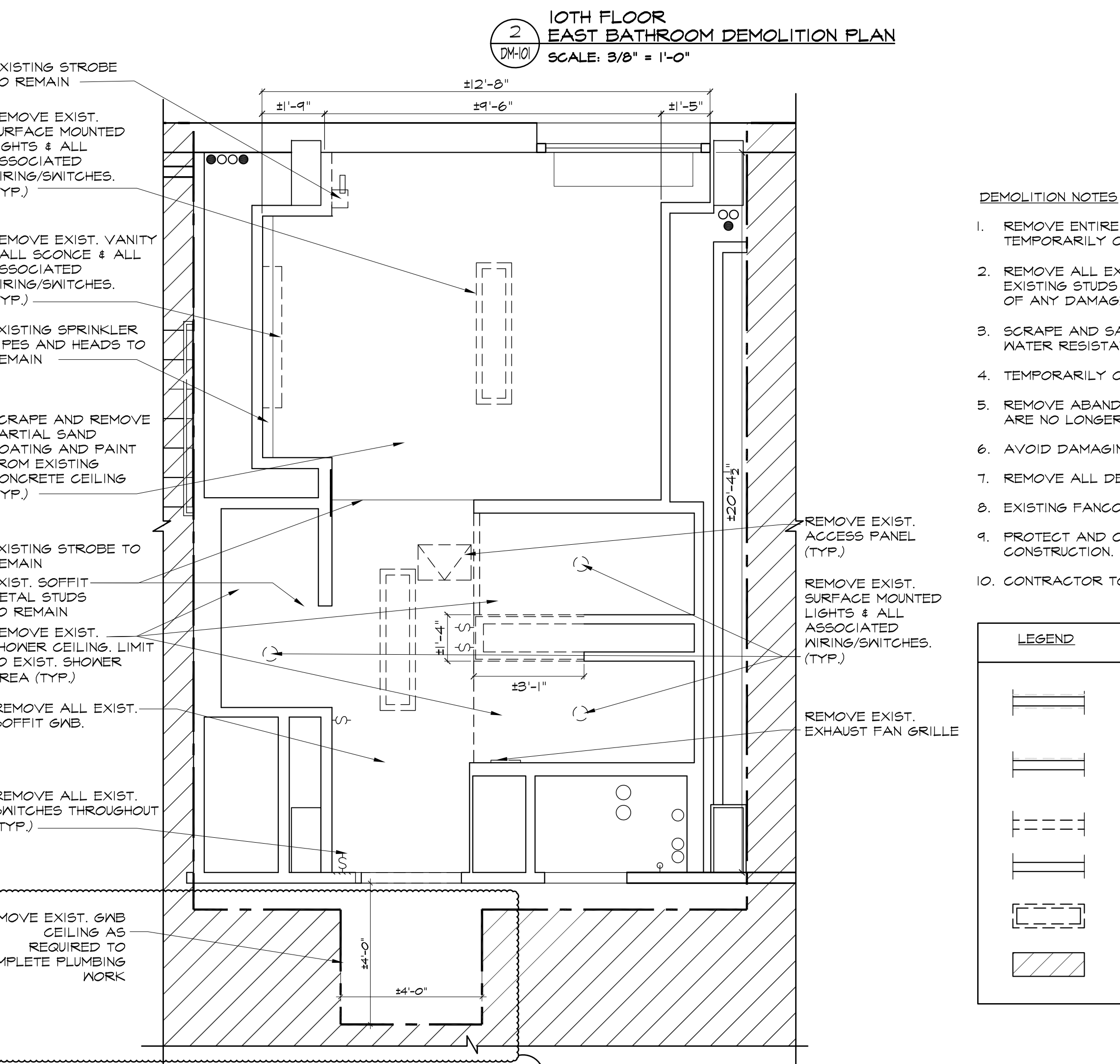
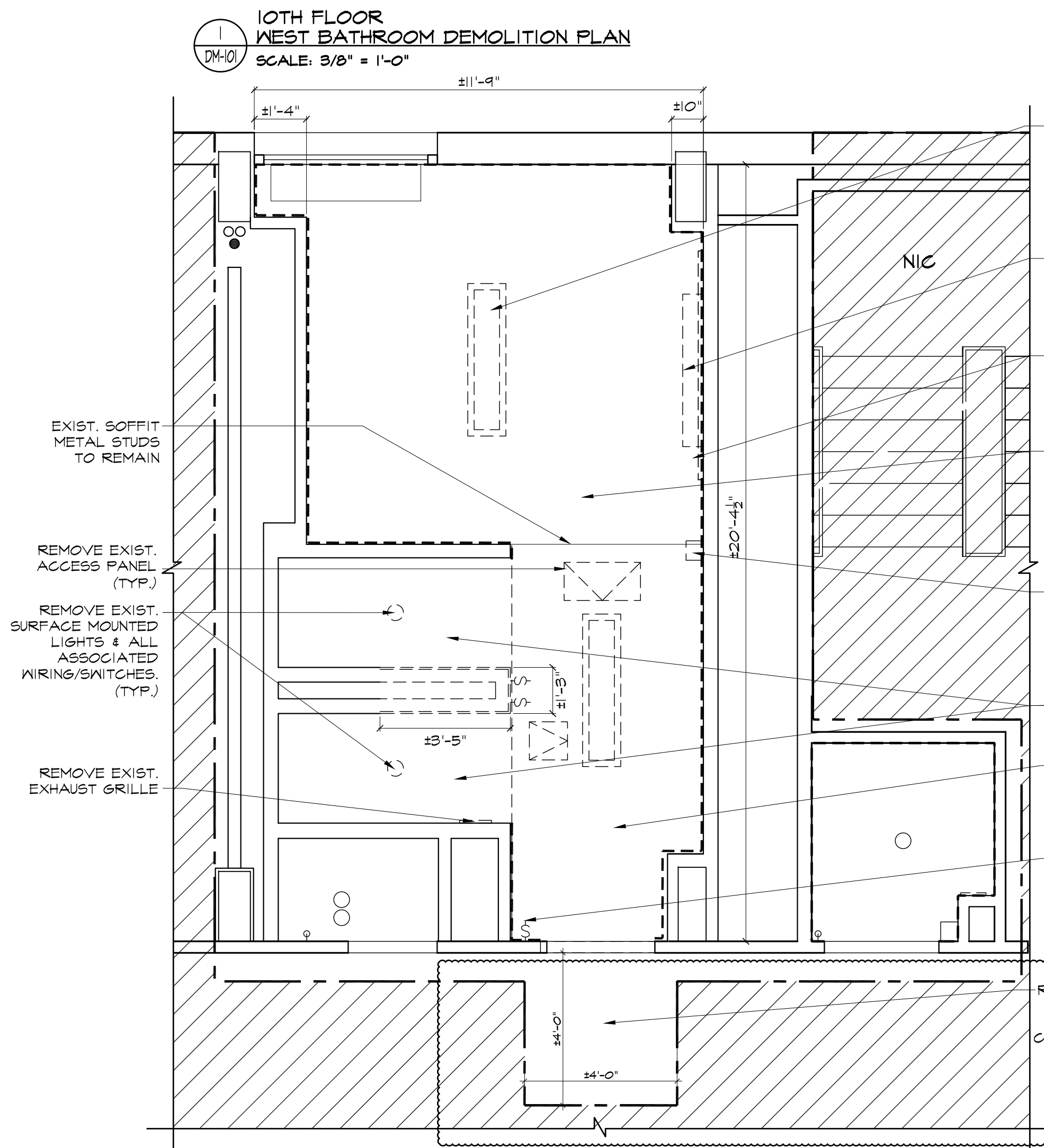
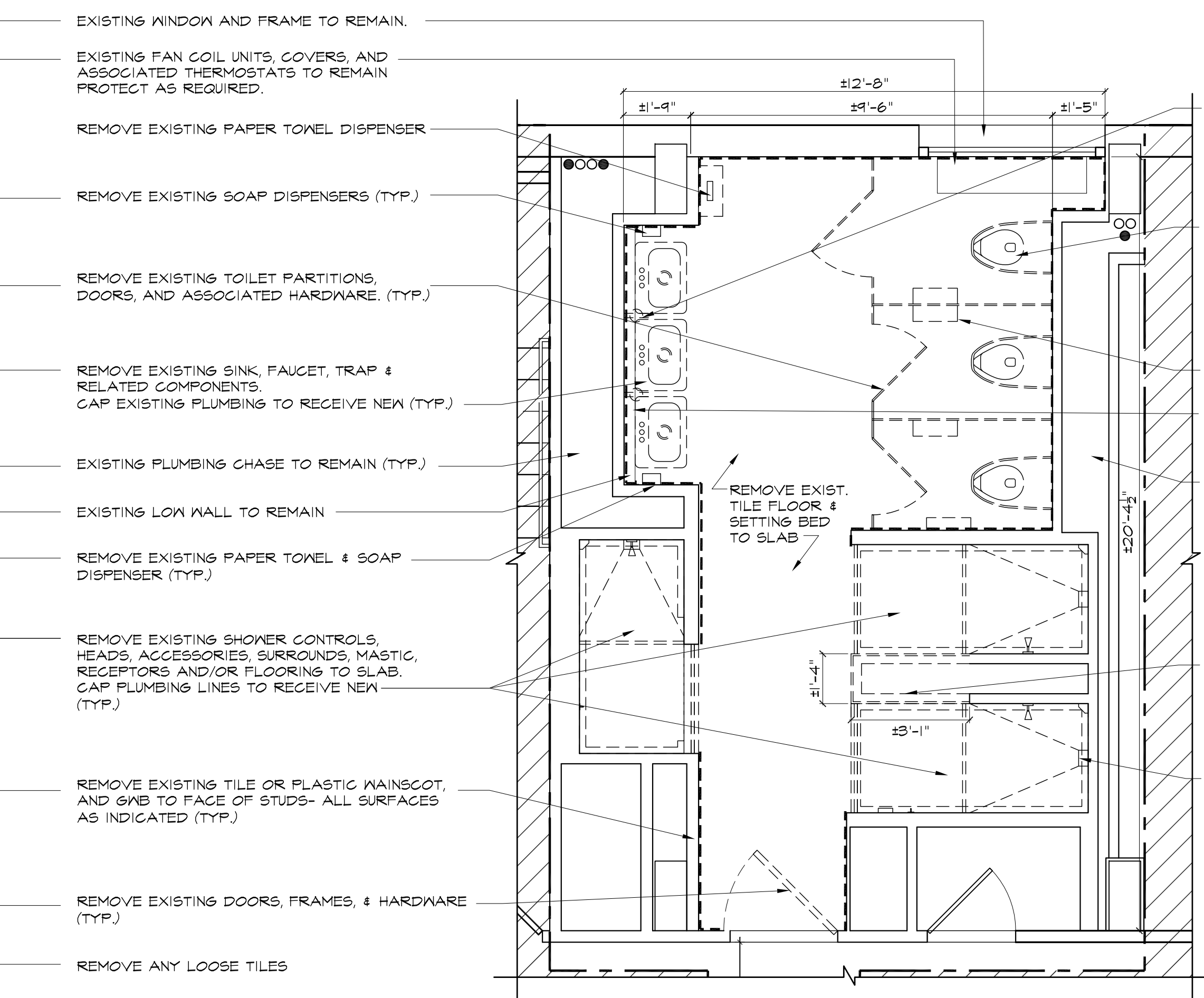
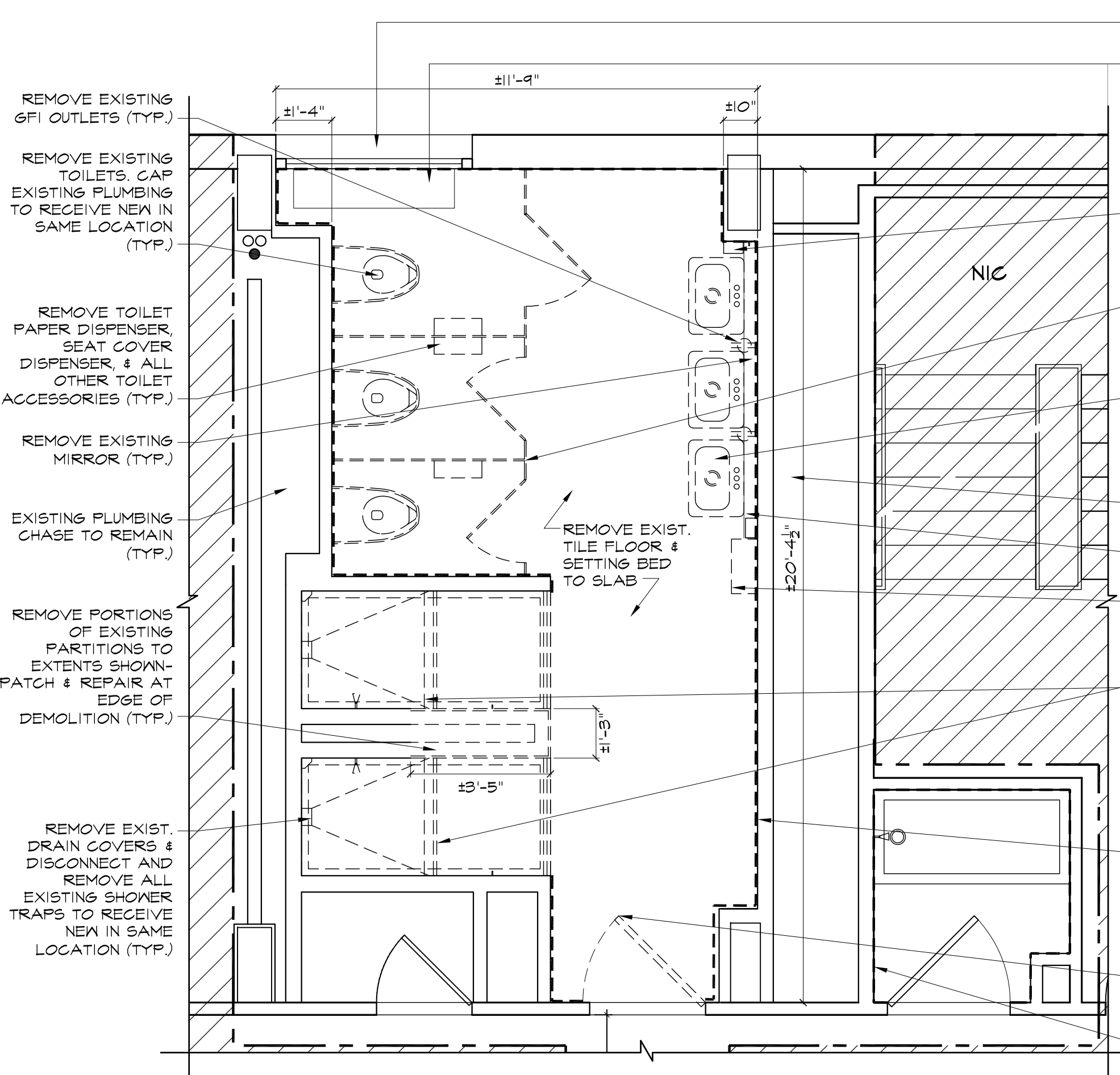
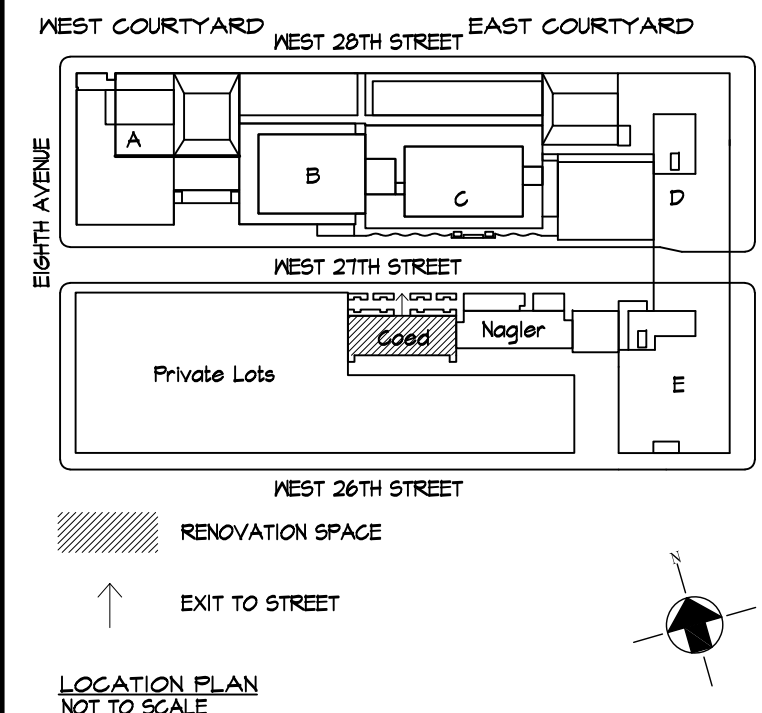
Fashion Institute of Technology
Student Housing Corporation
230 WEST 27TH STREET
NEW YORK, NY 10001

David Smotrich & Partners LLP
Architects/Planners
443 Park Avenue South
New York, NY 10016
212 889 4045 Fax 212 889 3672

PROJECT:
CO-ED RESIDENCE HALL BATHROOM RENOVATIONS - 9TH-10TH FLOORS
230 WEST 27TH ST
NEW YORK NY 10001

DRAWING TITLE:
DEMO PLANS & DEMO RCP - 9TH FLOOR

SEAL & SIGNATURE: _____ DATE: 04.14.2022
PROJECT No: 13284.110
DRAWING BY: AP&TM&LX
CHK BY: GS
DWG No:
DM-100.00
SCALE: AS NOTED 6 of 16



DEMOLITION NOTES

1. REMOVE ENTIRE EXISTING TILE FLOOR SETTING BED, SHOWER PANS, ETC. TO ORIGINAL SLAB. PROTECT & TEMPORARILY CAP EXISTING DRAIN AREAS AS REQUIRED.
2. REMOVE ALL EXISTING WALL TILE, SHOWER SURROUNDS (AND CLGS.), FASTENERS AND SUBSTRATE TO FACE OF EXISTING STUDS AS INDICATED ON DOCUMENTS. CONTRACTOR TO ASSUME RESPONSIBILITY FOR REPLACEMENT OF ANY DAMAGED STUDS AS A RESULT OF DEMOLITION, AT NO EXTRA COST TO OWNER.
3. SCRAPE AND SAND EXISTING CONCRETE CEILING (PAINTED "COURSE SAND FINISH") TO BE LAMINATED W/ NEW WATER RESISTANT GAB.
4. TEMPORARILY CAP EXPOSED PIPING/ WIRING UNTIL READY TO INSTALL NEW APPLIANCES/FIXTURES.
5. REMOVE ABANDONED CONDUITS ONLY AFTER TESTING FOR "LIVE" WIRING AND VERIFYING WITH OWNER THEY ARE NO LONGER IN USE.
6. AVOID DAMAGING EXISTING ELECTRIC CONDUITS TO REMAIN.
7. REMOVE ALL DEBRIS FROM INTERIOR OF CHASE TO BROOM CLEAN.
8. EXISTING FANCOIL UNIT & COVER TO REMAIN. PROTECT AS REQUIRED.
9. PROTECT AND COVER ALL RETURN AIR DUCTS AND VENTS THROUGHOUT THE DURATION OF DEMOLITION AND CONSTRUCTION.
10. CONTRACTOR TO ASSUME 10% OF ALL EXISTING STUDS WHICH ARE TO REMAIN REQUIRE REPLACEMENT.

LEGEND	
	EXIST. STUDS TO REMAIN. REMOVE ALL FINISHES AND EXIST. GAB EA. SIDE
	EXIST. STUDS TO REMAIN. REMOVE FINISHES AND GAB ONE SIDE.
	WALL TO BE REMOVED
	WALL TO REMAIN
	SURFACE MOUNTED LIGHT FIXTURE TO BE REMOVED
	AREA NOT IN CONTRACT

Environmental Consultants
EPM, Inc.
 1983 Marcus Ave. Suite 109
 Lake Success, NY 11042 / (516) 328-1194

MEP Consultant
MG Engineering D.P.C.
 116 West 32nd Street
 New York, NY 10001 / (212) 643-9055

Fashion Institute of Technology
Student Housing Corporation
 230 WEST 27TH STREET
 NEW YORK, NY 10001

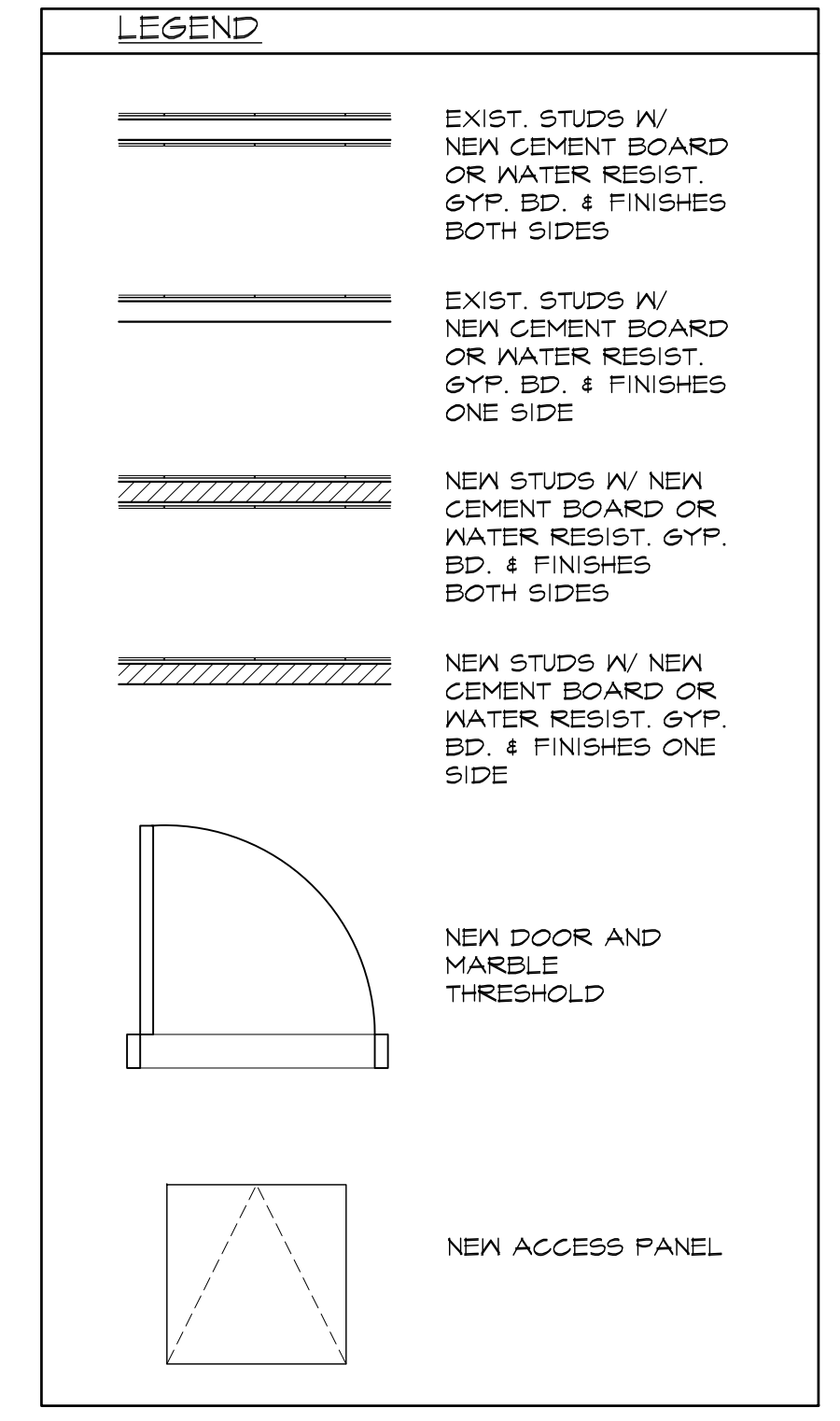
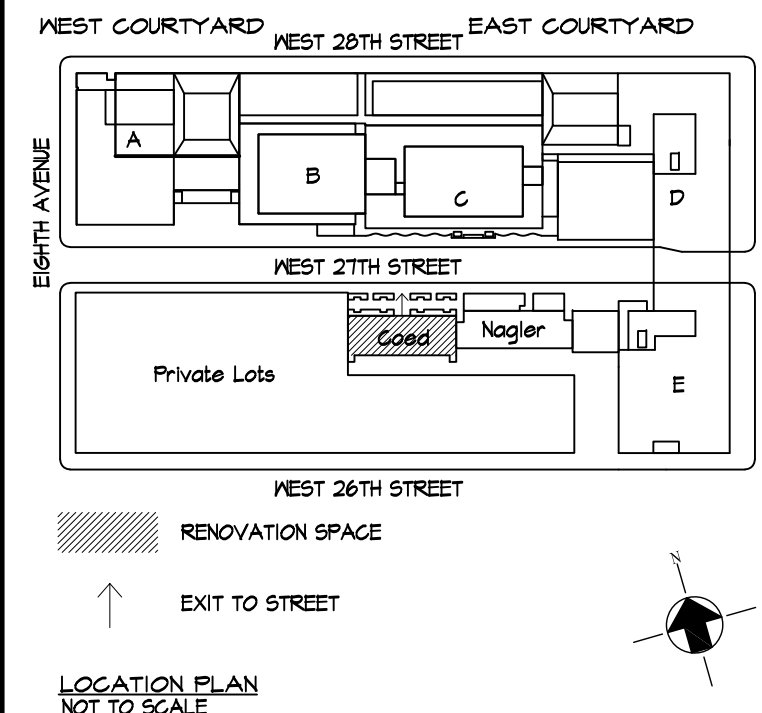
David Smotrich & Partners LLP
 Architects/Planners

443 Park Avenue South
 New York, NY 10016
 212 889 4045 Fax 212 889 3672

PROJECT:
 CO-ED RESIDENCE HALL BATHROOM
 RENOVATIONS - 9TH-10TH FLOORS
 230 WEST 27TH ST
 NEW YORK NY 10001

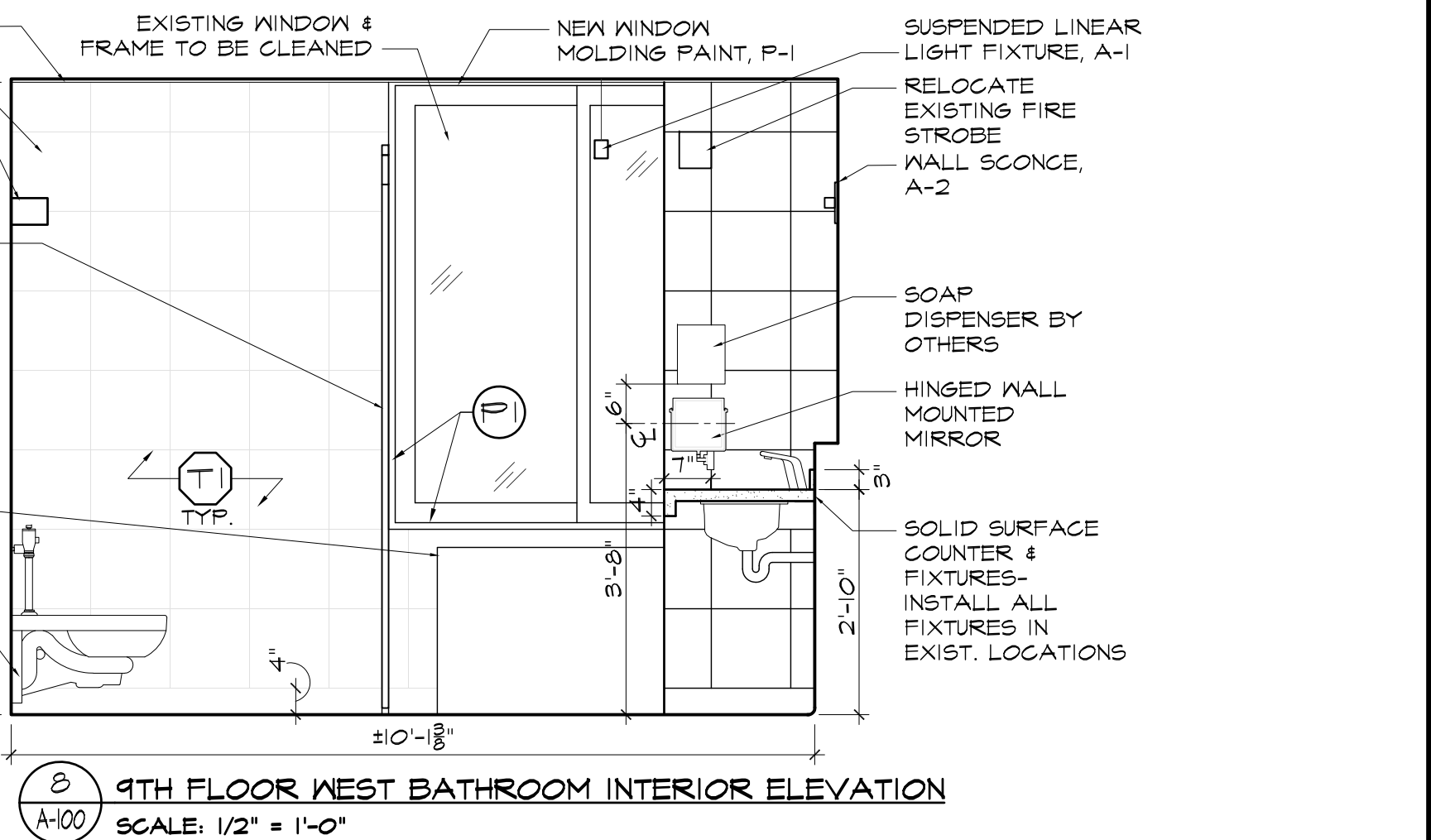
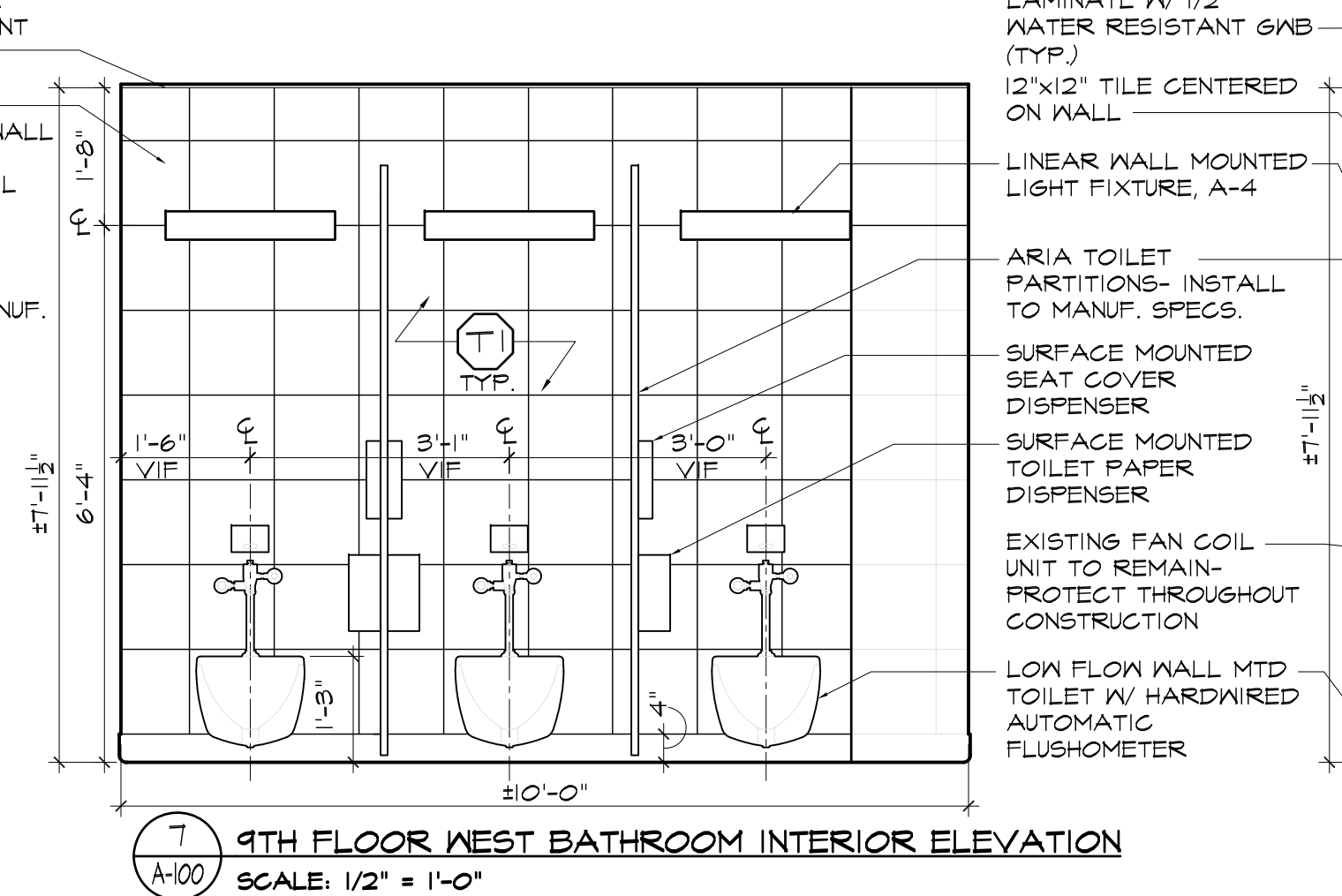
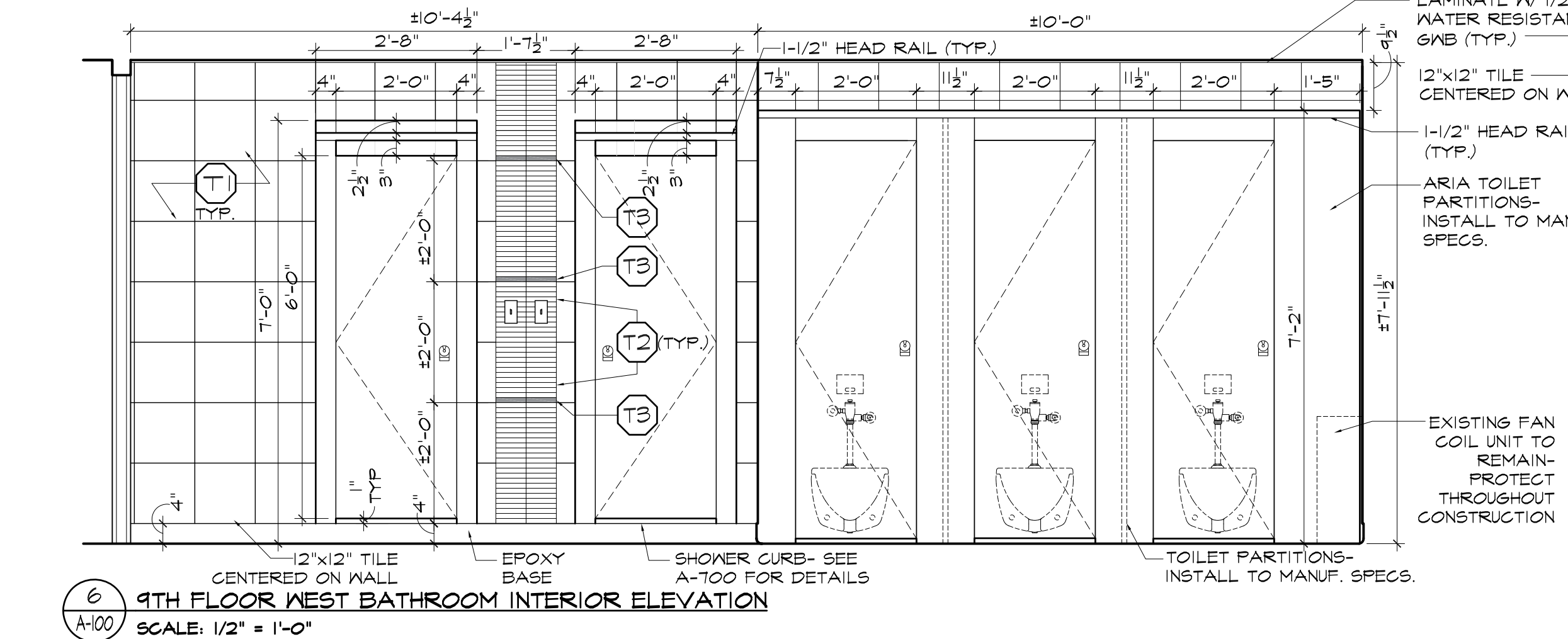
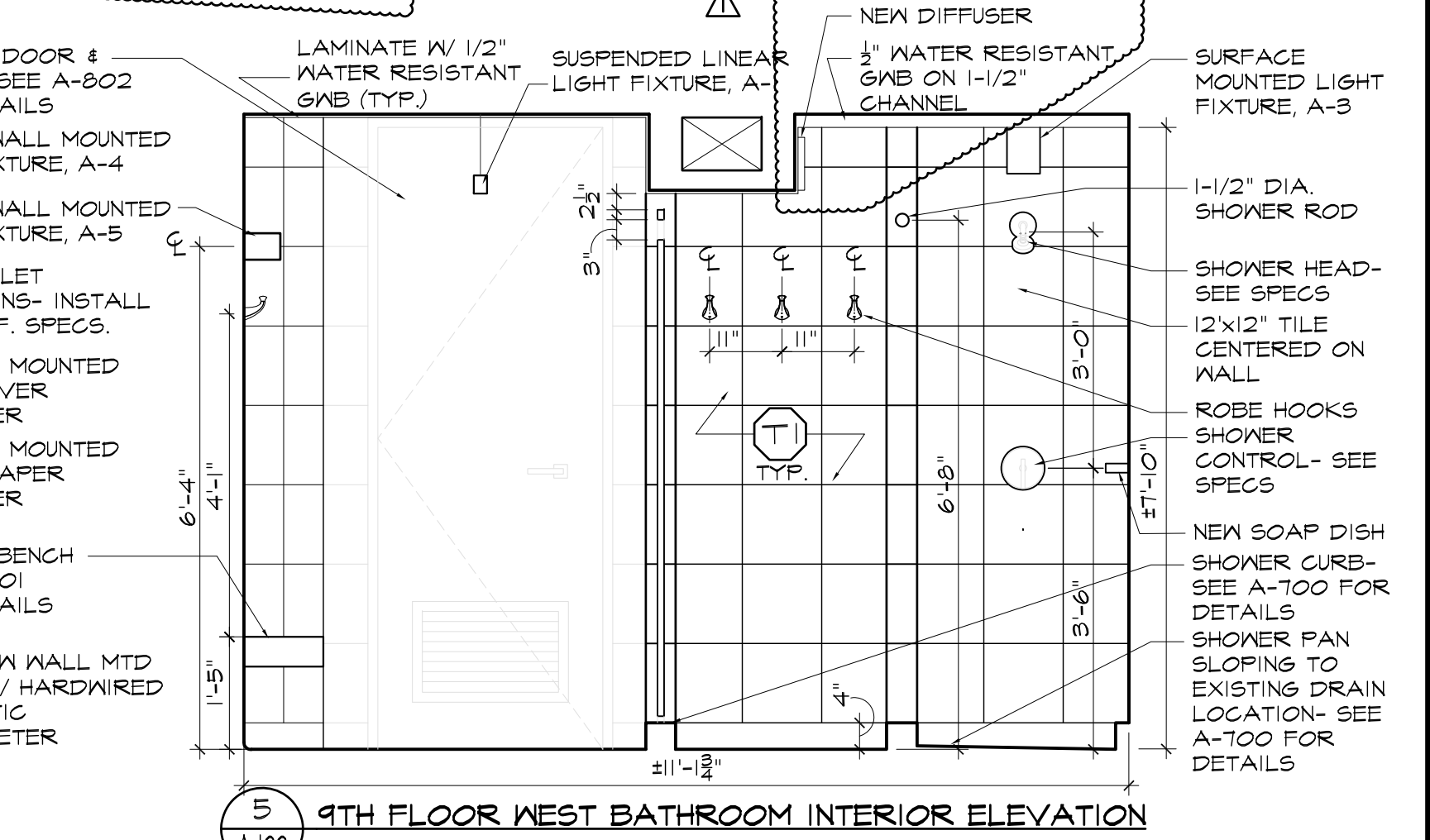
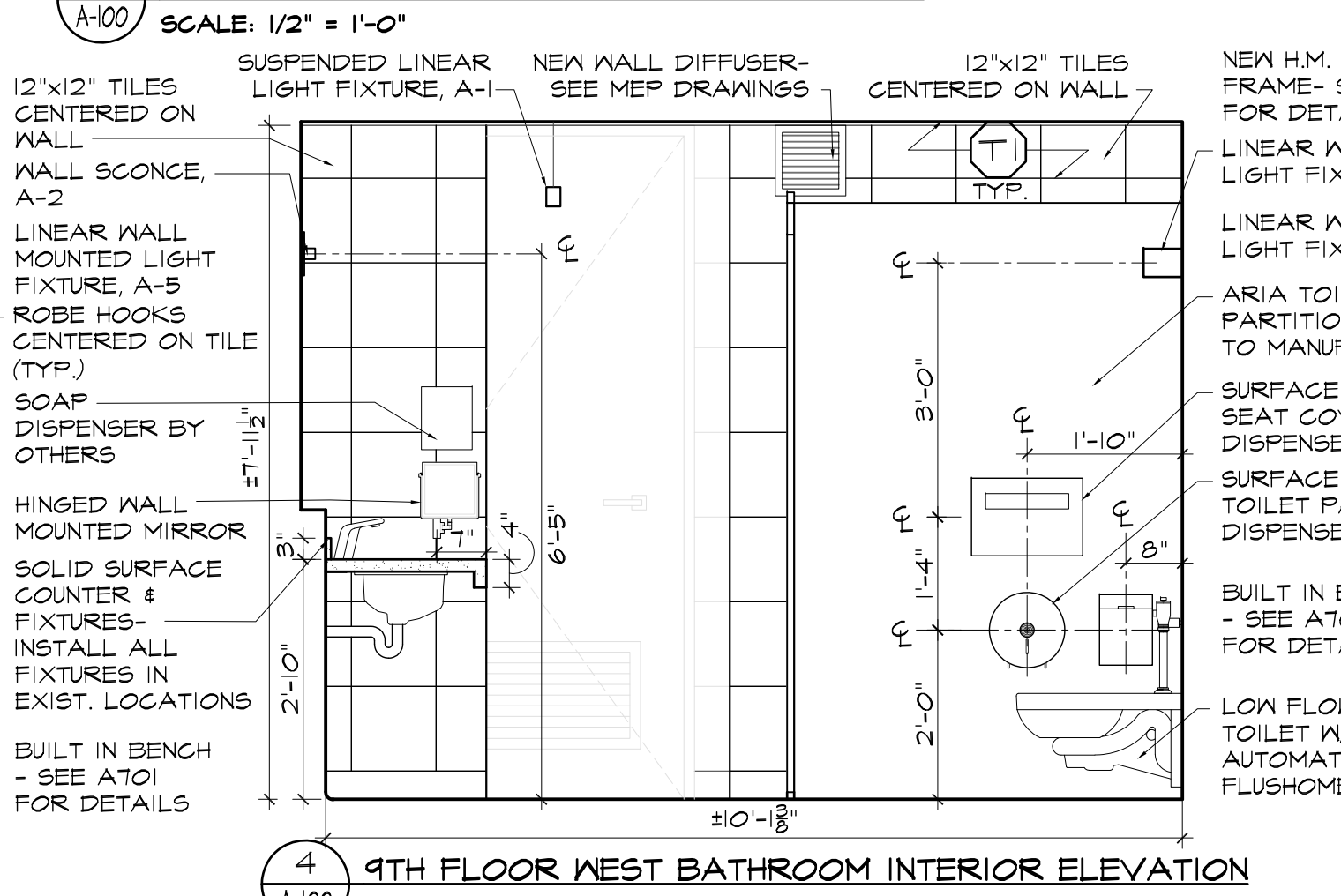
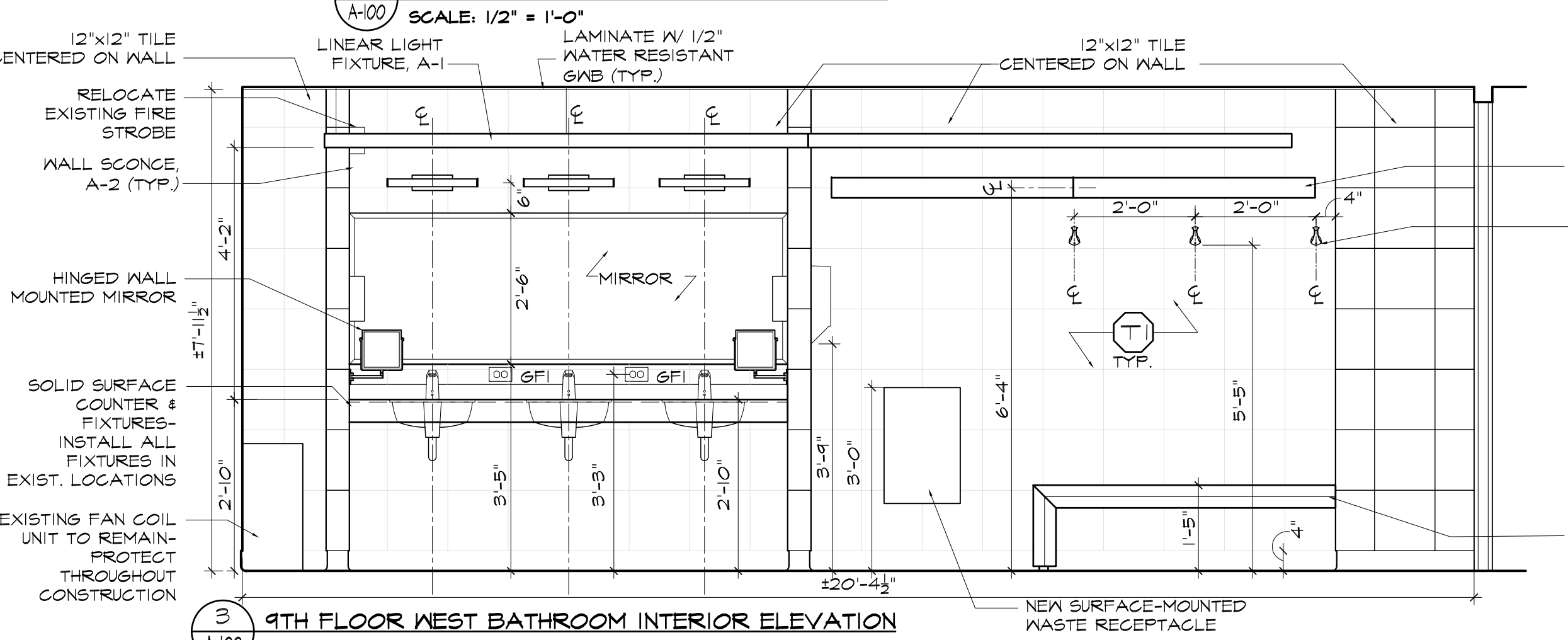
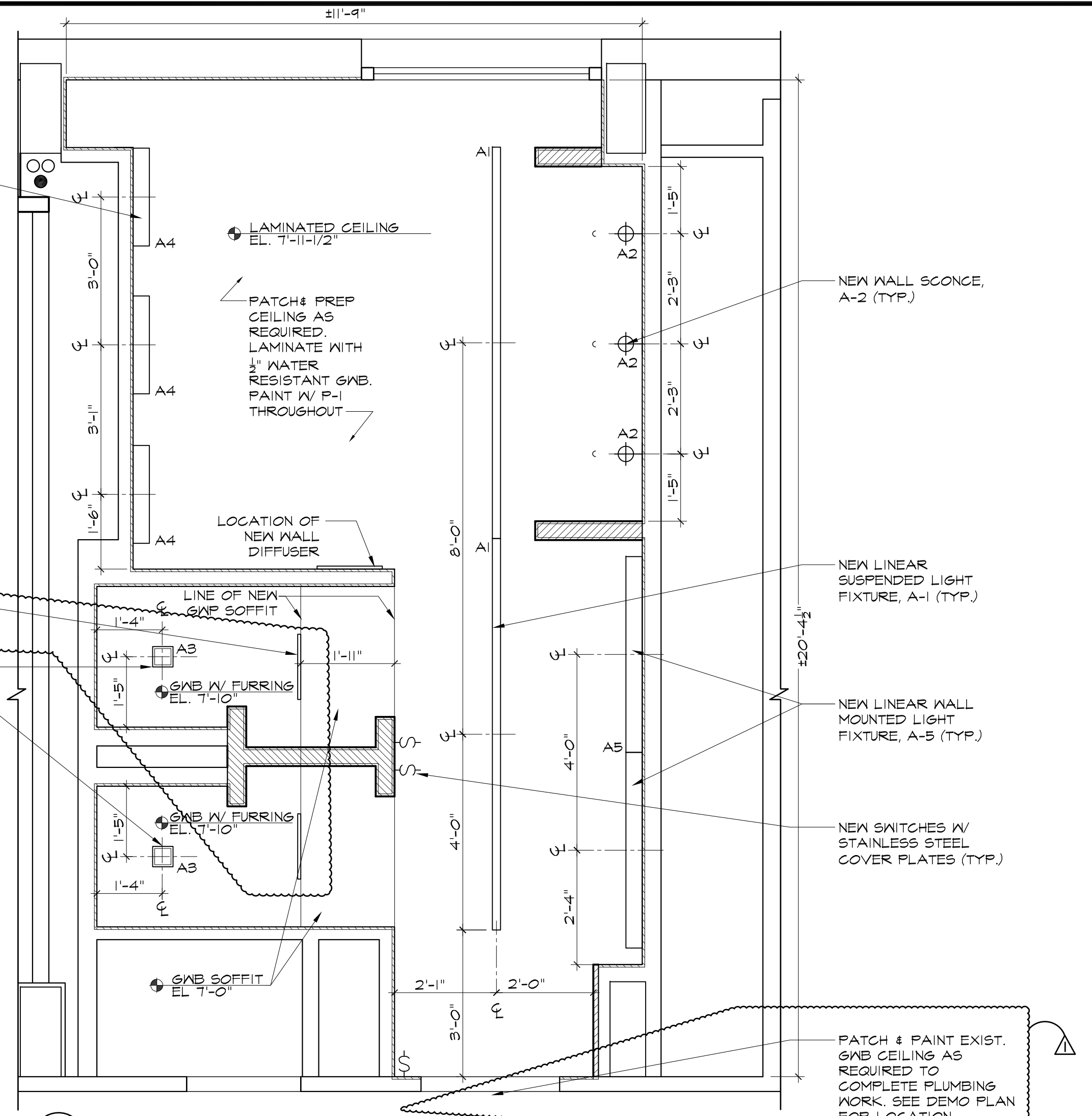
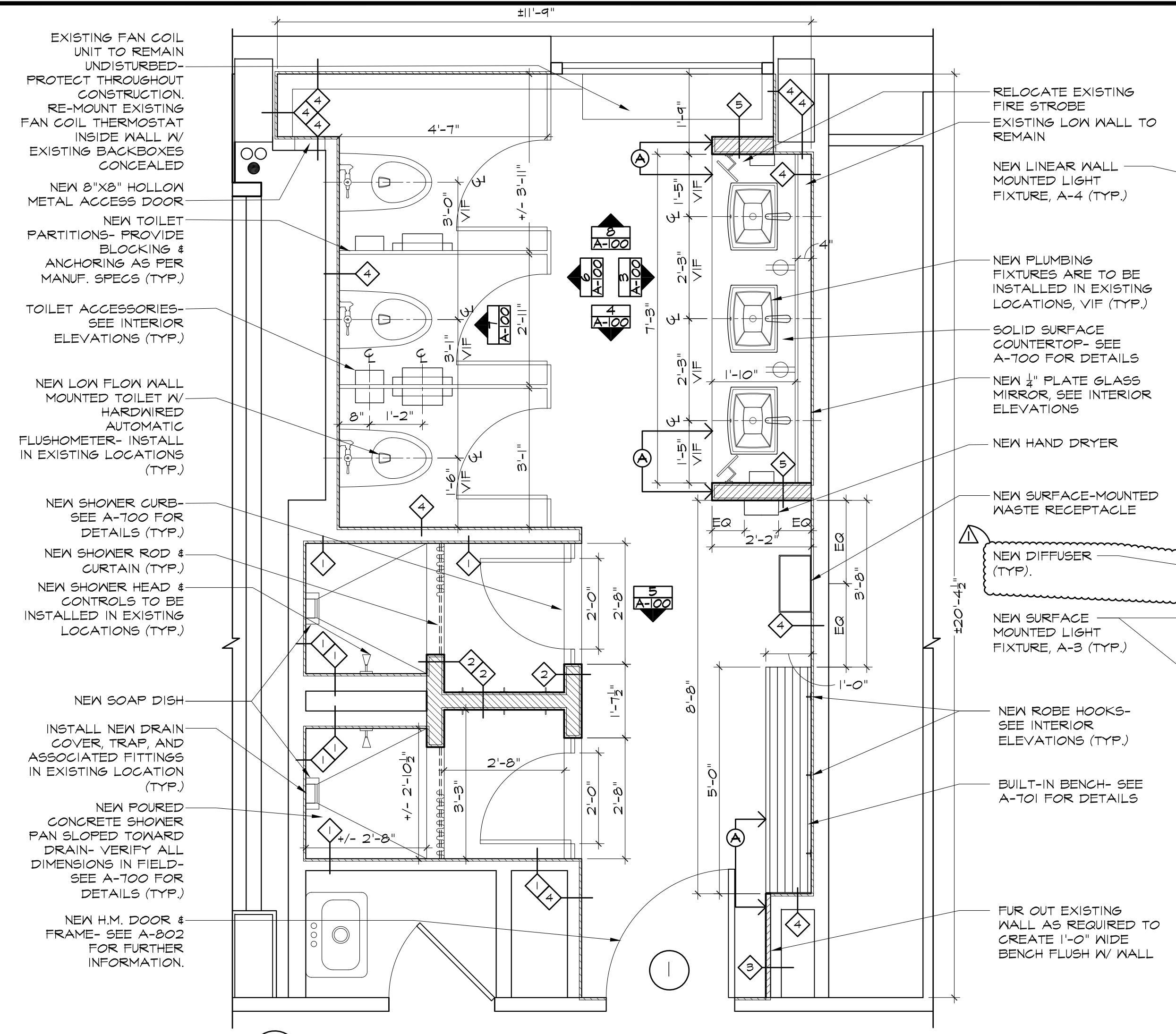
DRAWING TITLE:
 DEMO PLANS & DEMO RCP -
 10TH FLOOR

SEAL & SIGNATURE: _____ DATE: 04.14.2022
 PROJECT No: 13284.110
 DRAWING BY: AP&TM&LX
 CHK BY: GS
 DWG No:
DM-101.00
 SCALE: AS NOTED 7 of 16



NOTES

1. LAMINATE 1/2" WATER RESISTANT GMB TO UNDERSIDE CONCRETE CEILING AND FACE OF EXISTING SOFFIT STUDS.
2. CONTRACTOR TO ASSUME 10% OF ALL EXISTING STUDS REQUIRE REPLACEMENT.



Environmental Consultants
EPM, Inc.
 1983 Marcus Ave. Suite 109
 Lake Success, NY 11042 / (516) 328-1194

MEP Consultant
MG Engineering D.P.C.
 116 West 32nd Street
 New York, NY 10001 / (212) 643-9055

Fashion Institute of Technology
Student Housing Corporation
 230 WEST 27TH STREET
 NEW YORK, NY 10001

David Smotrich & Partners LLP
 Architects/Planners

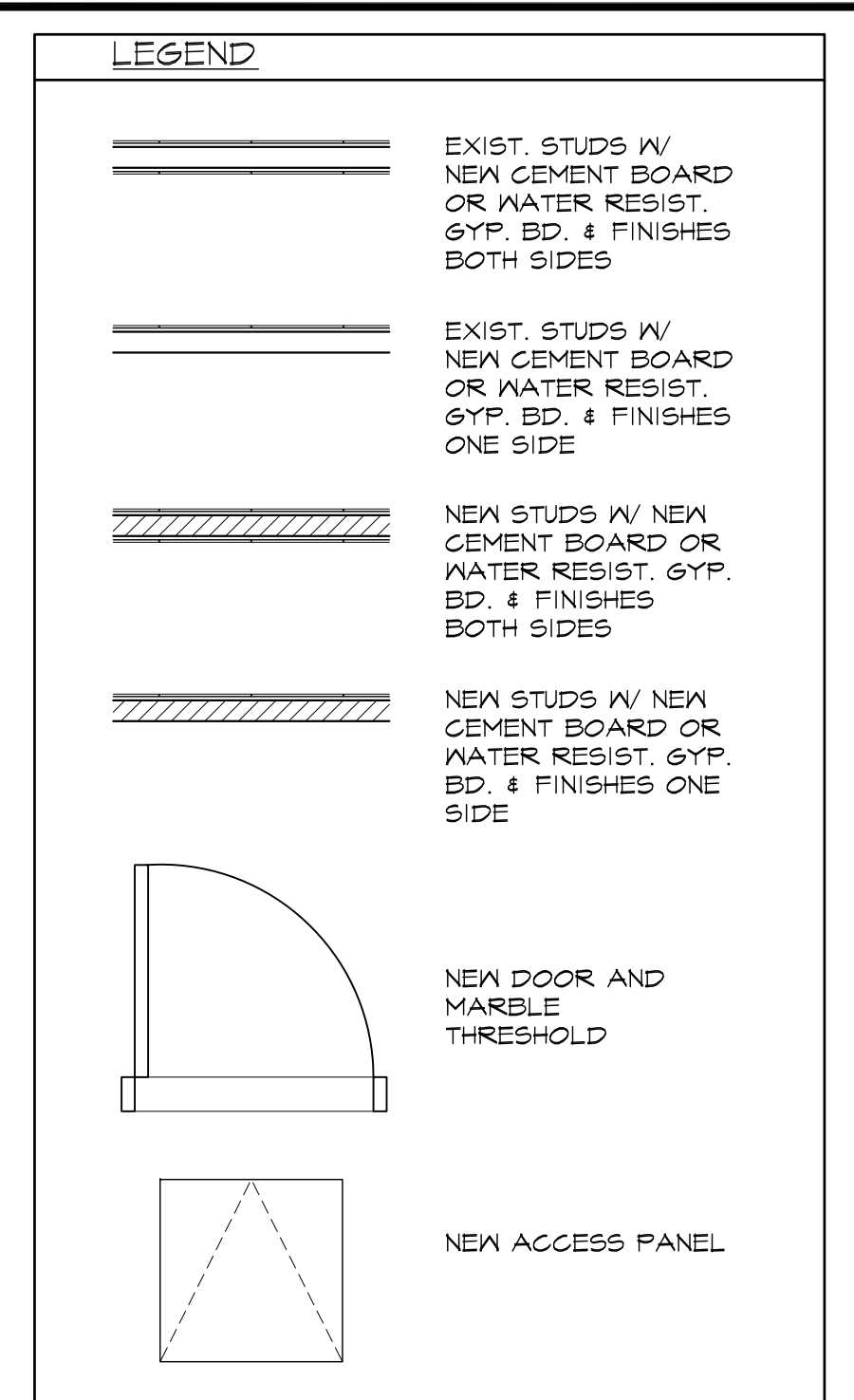
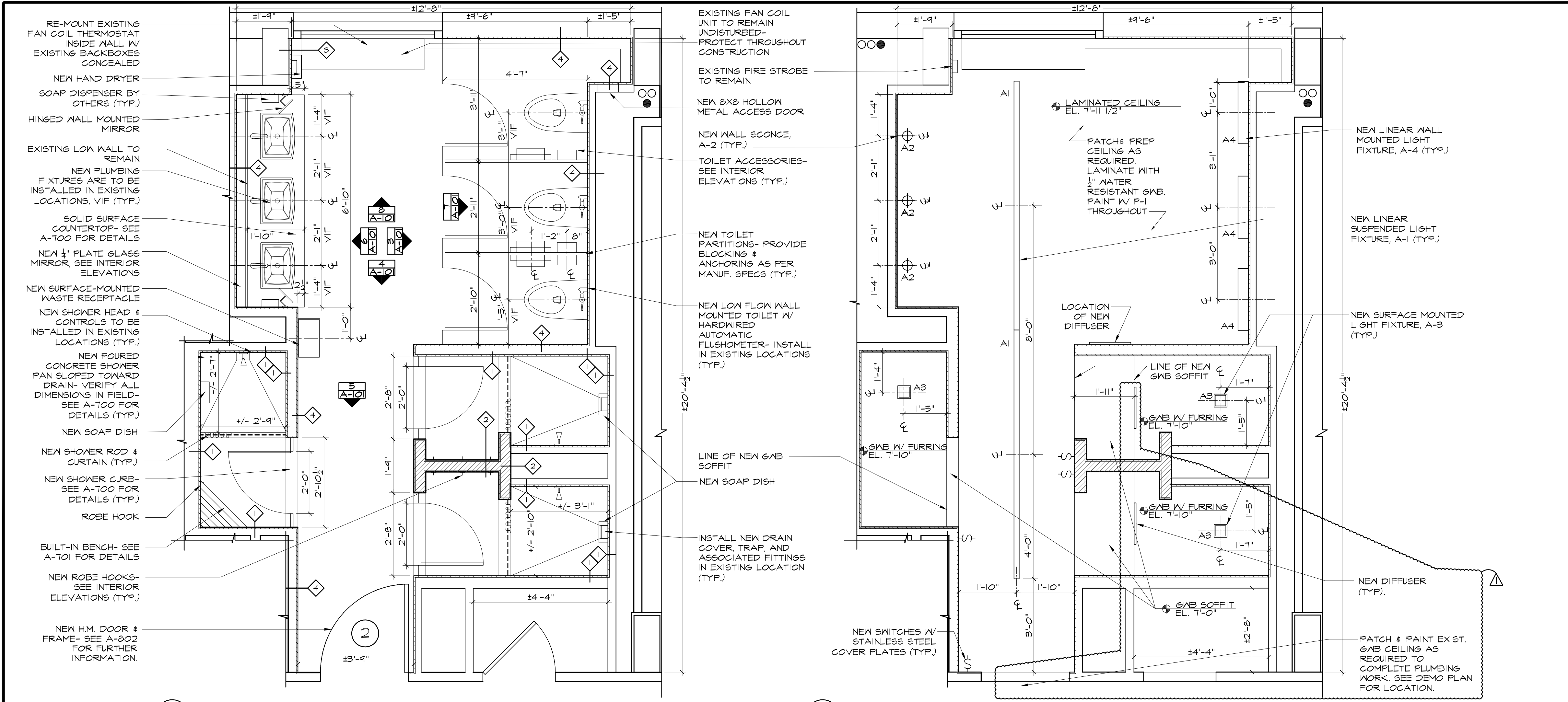
443 Park Avenue South
 New York, NY 10016
 212 889 4045 Fax 212 889 3672

PROJECT:
 CO-ED RESIDENCE HALL BATHROOM
 RENOVATIONS - 9TH-10TH FLOORS
 230 WEST 27TH ST
 NEW YORK NY 10001

DRAWING TITLE:
 CONSTRUCTION PLAN/RCP/
 INTERIOR ELEVATIONS -
 9TH FLOOR WEST

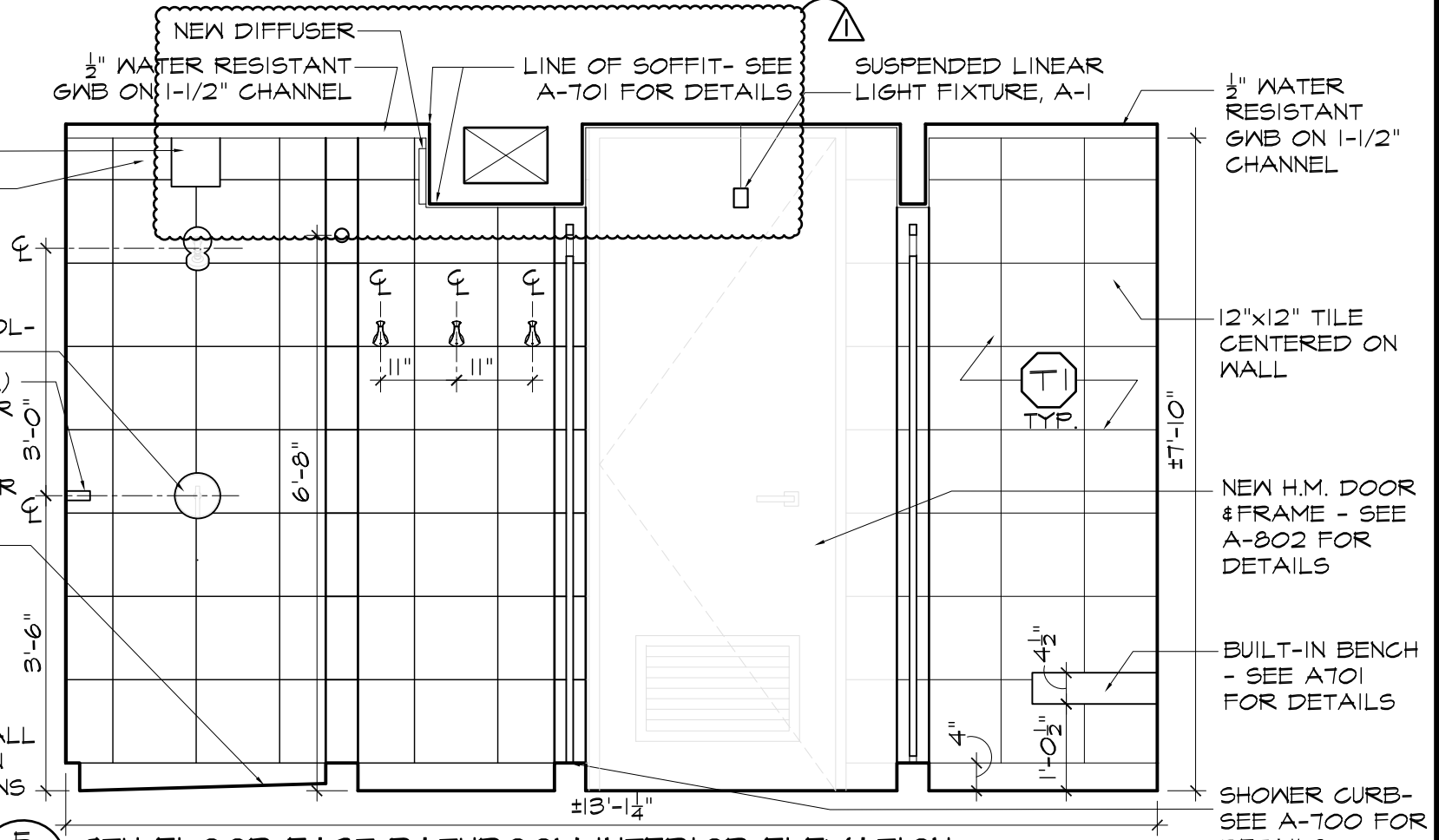
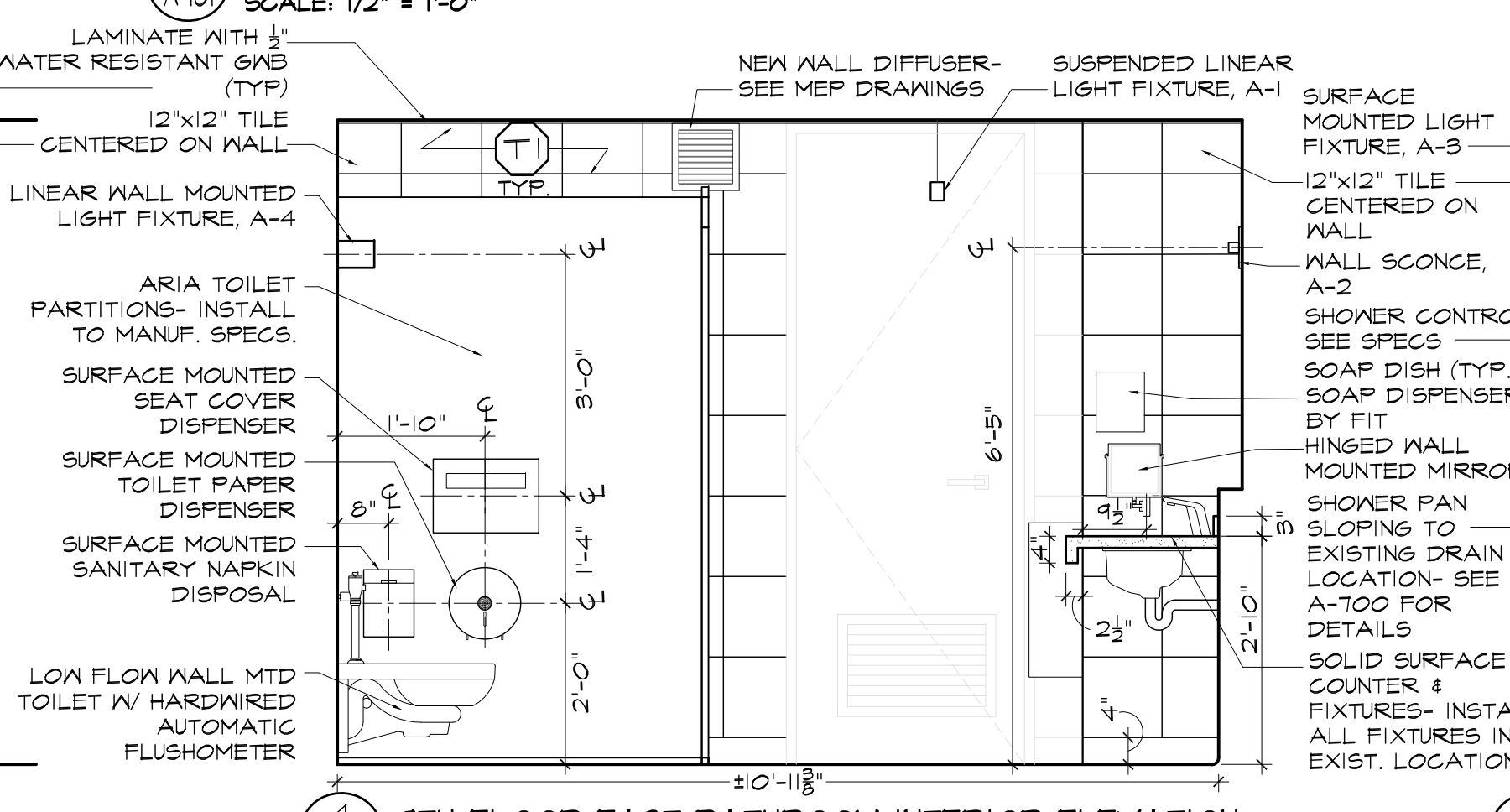
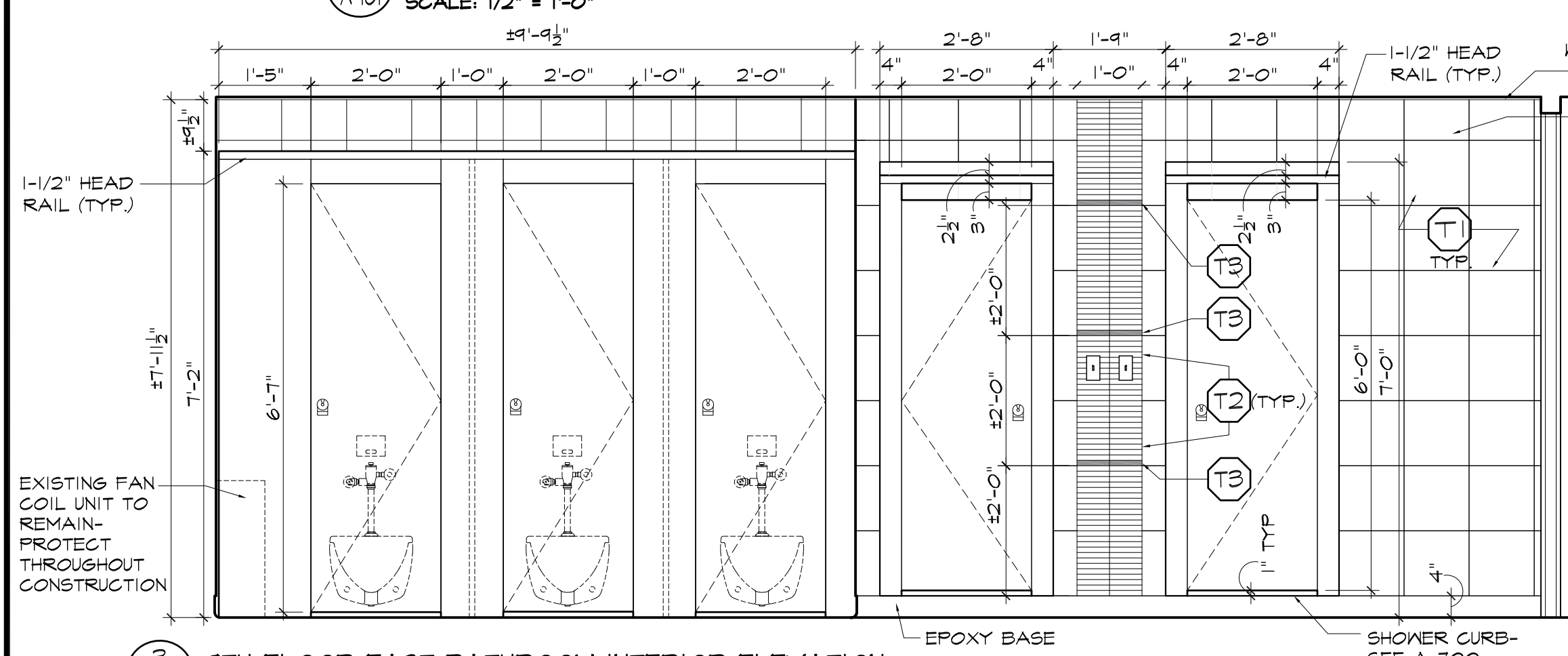
SEAL & SIGNATURE:

DATE: 04.14.2022
 PROJECT No: 13284.110
 DRAWING BY: AP&TM&LX
 CHK BY: GS
 DWG No:
A-100.00
 SCALE AS NOTED 8 of 16



1 9TH FLOOR EAST CONSTRUCTION PLAN
SCALE: 1/2" = 1'-0"

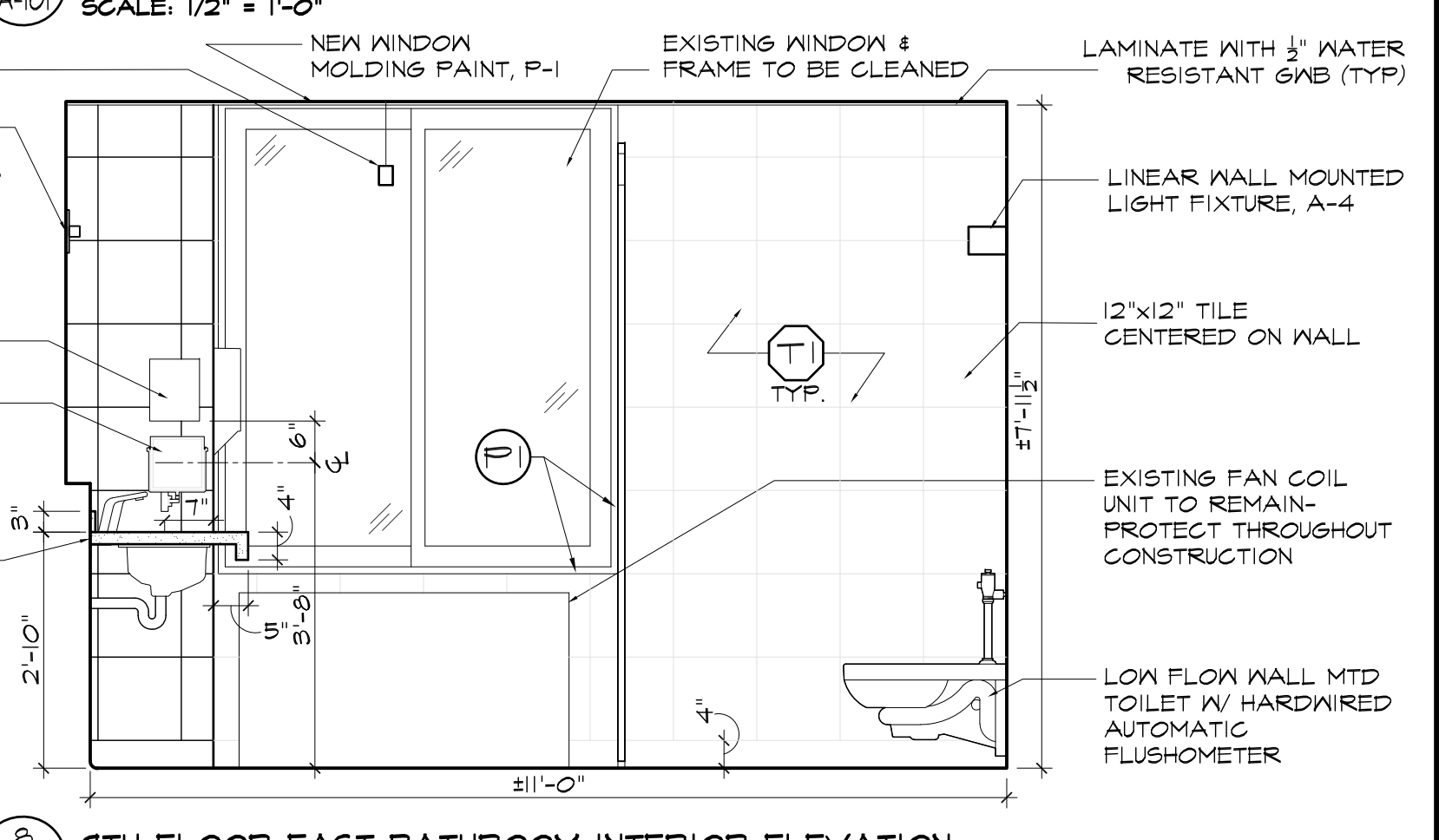
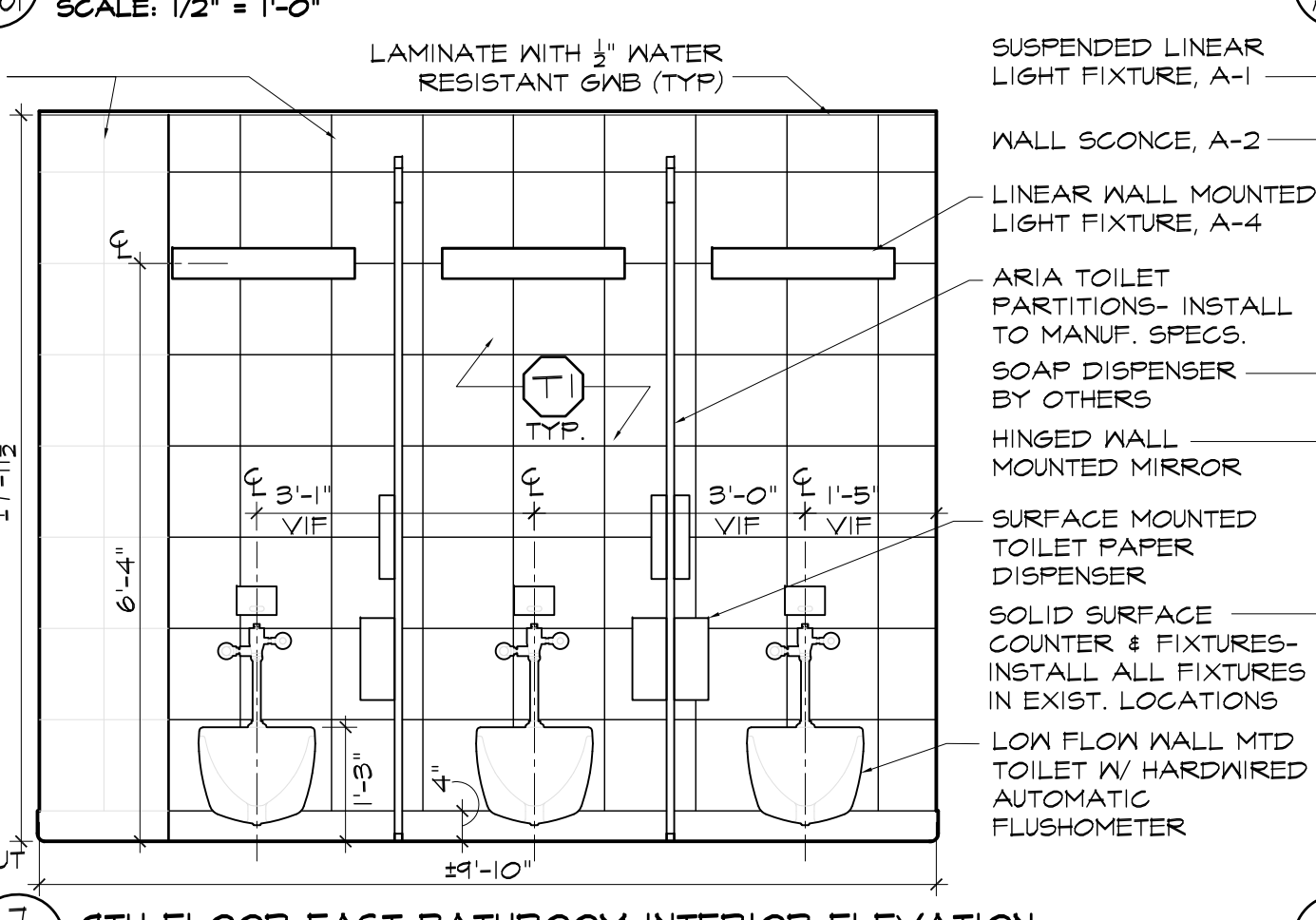
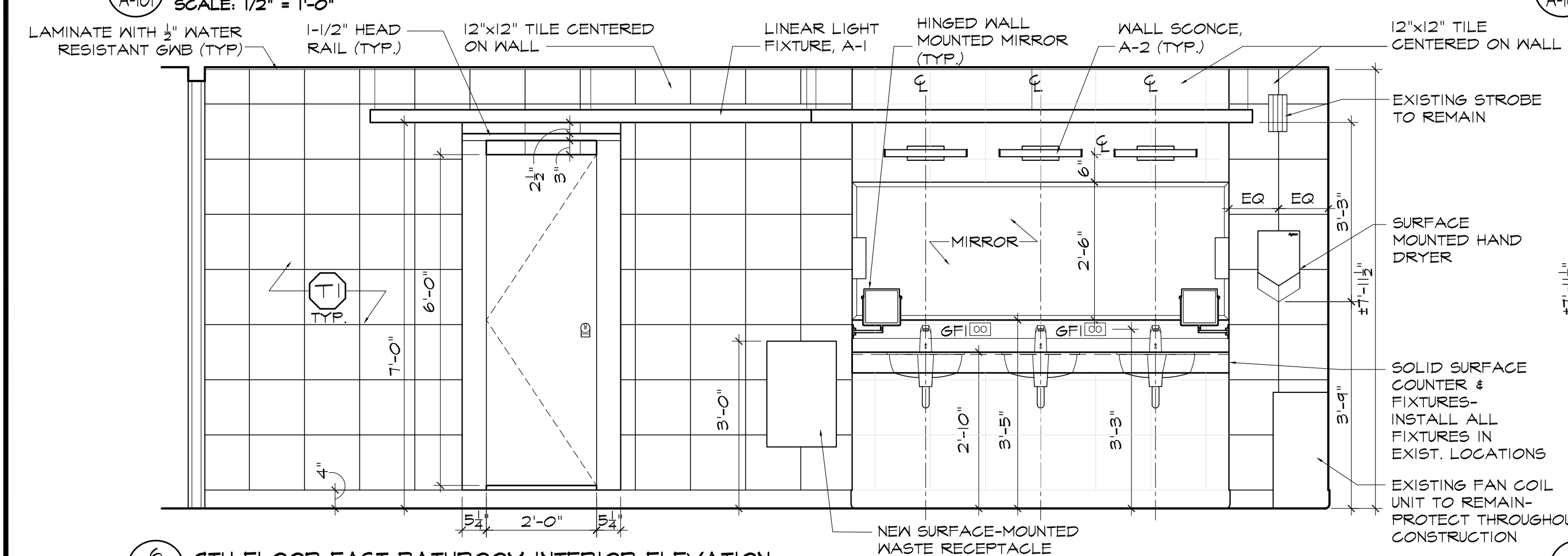
2 9TH FLOOR EAST REFLECTED CEILING PLAN
SCALE: 1/2" = 1'-0"



3 9TH FLOOR EAST BATHROOM INTERIOR ELEVATION
SCALE: 1/2" = 1'-0"

4 9TH FLOOR EAST BATHROOM INTERIOR ELEVATION
SCALE: 1/2" = 1'-0"

5 9TH FLOOR EAST BATHROOM INTERIOR ELEVATION
SCALE: 1/2" = 1'-0"

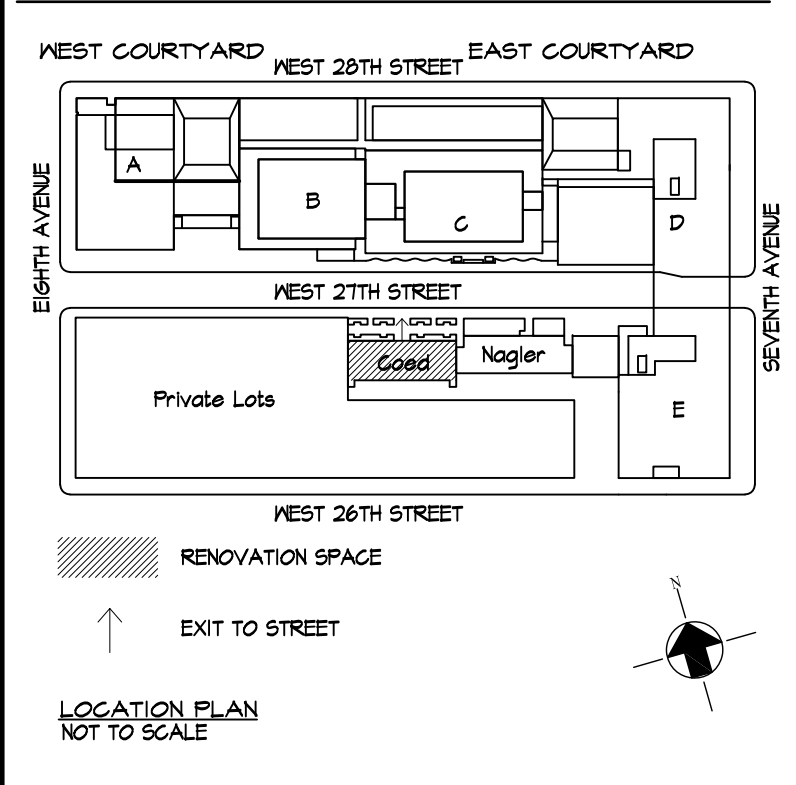


6 9TH FLOOR EAST BATHROOM INTERIOR ELEVATION
SCALE: 1/2" = 1'-0"

7 9TH FLOOR EAST BATHROOM INTERIOR ELEVATION
SCALE: 1/2" = 1'-0"

8 9TH FLOOR EAST BATHROOM INTERIOR ELEVATION
SCALE: 1/2" = 1'-0"

REV. NO. DATE REVISIONS
4/14/2022 ADDENDUM #2



Environmental Consultants
EPM, Inc.
1983 Marcus Ave. Suite 109
Lake Success, NY 11042 / (516) 328-1194

MEP Consultant
MG Engineering D.P.C.
116 West 32nd Street
New York, NY 10001 / (212) 643-9055

Fashion Institute of Technology
Student Housing Corporation
230 WEST 27TH STREET
NEW YORK, NY 10001

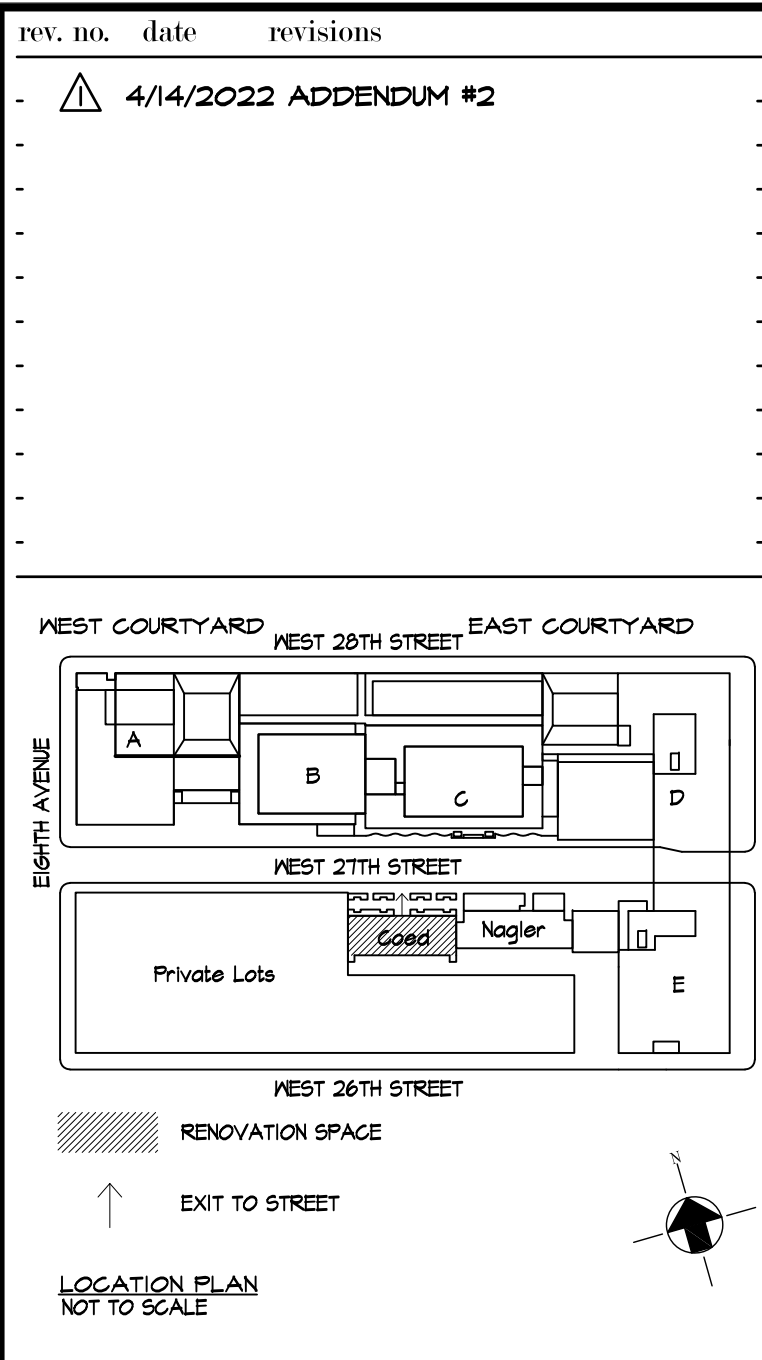
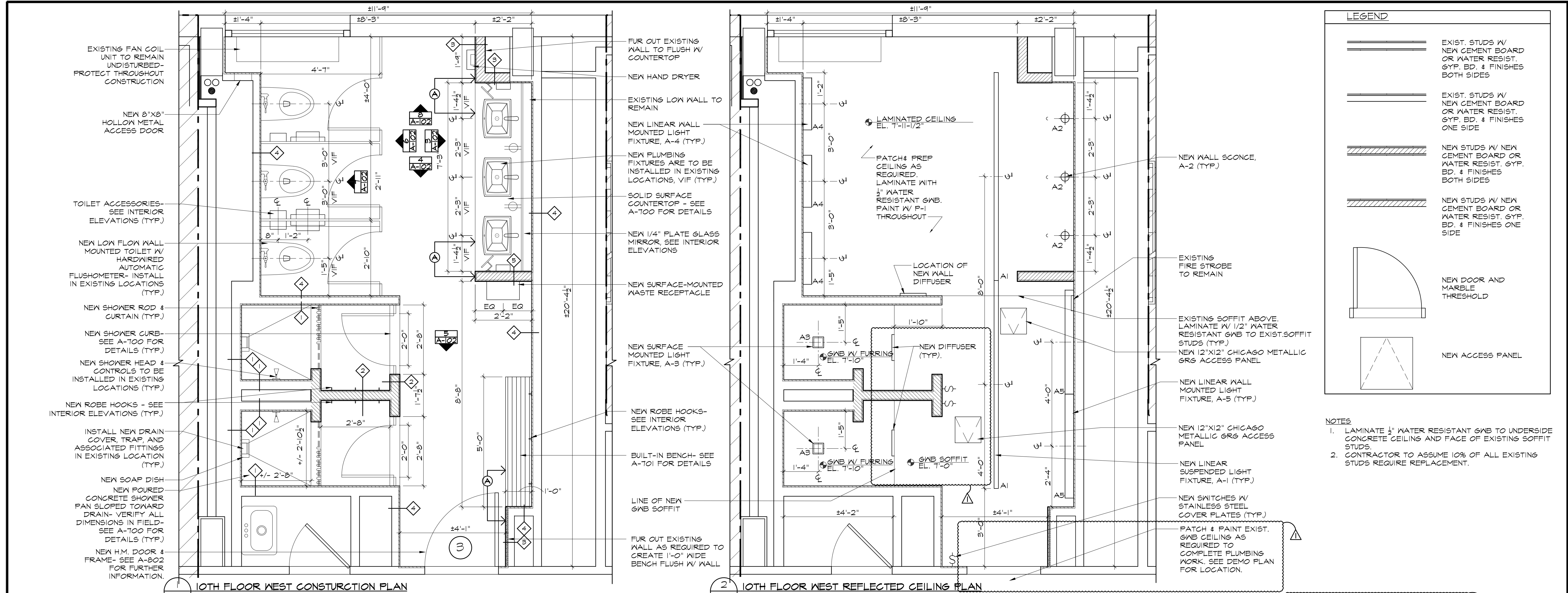
David Smotrich & Partners LLP
Architects/Planners

443 Park Avenue South
New York, NY 10016
212 889 4045 Fax 212 889 3672

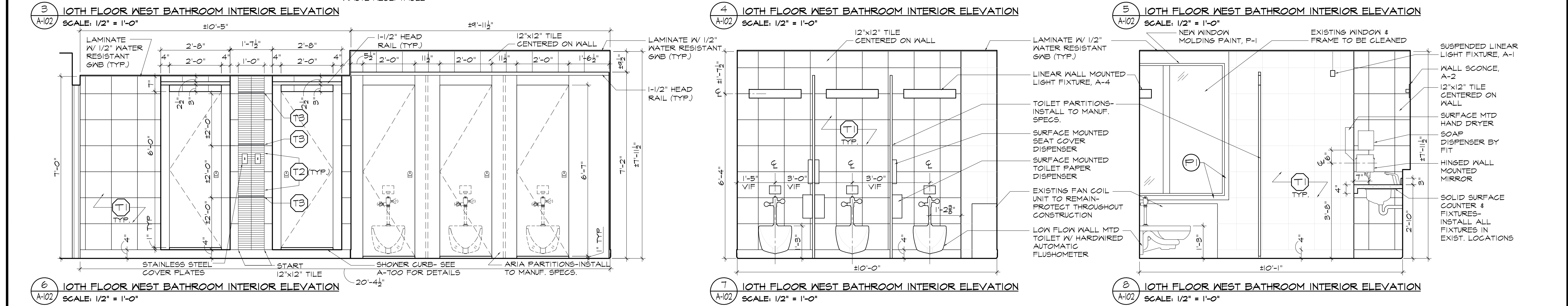
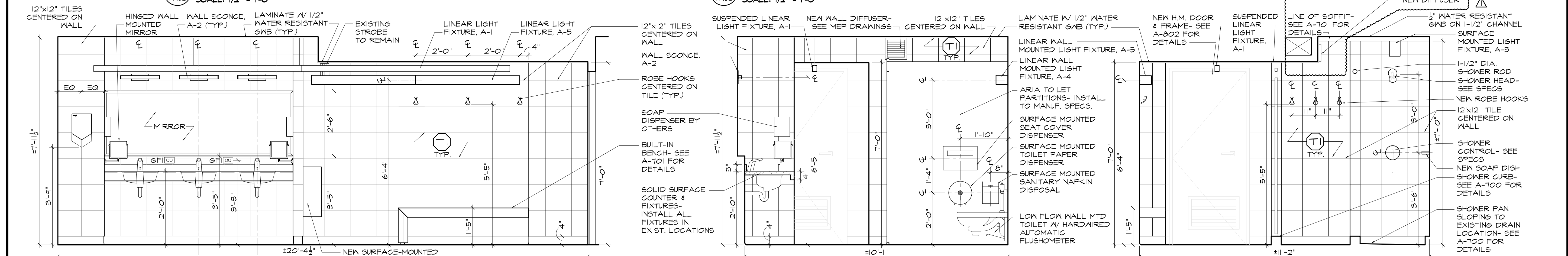
PROJECT:
CO-ED RESIDENCE HALL BATHROOM
RENOVATIONS - 9TH-10TH FLOORS
230 WEST 27TH ST
NEW YORK NY 10001

DRAWING TITLE:
**CONSTRUCTION PLAN/RCP/
INTERIOR ELEVATIONS -
9TH FLOOR EAST**

SEAL & SIGNATURE: DATE: 04.14.2022
PROJECT No: 13284.110
DRAWING BY: AP&TM&LX
CHK BY: GS
DWG No:
A-101.00
SCALE: AS NOTED 9 of 16



rev. no. date revisions
 4/14/2022 ADDENDUM #2



Environmental Consultants
EPM, Inc.
 1983 Marcus Ave. Suite 109
 Lake Success, NY 11042 / (516) 328-1194

MEP Consultant
MG Engineering D.P.C.
 116 West 32nd Street
 New York, NY 10001 / (212) 643-9055

Fashion Institute of Technology
Student Housing Corporation
 230 WEST 27TH STREET
 NEW YORK, NY 10001

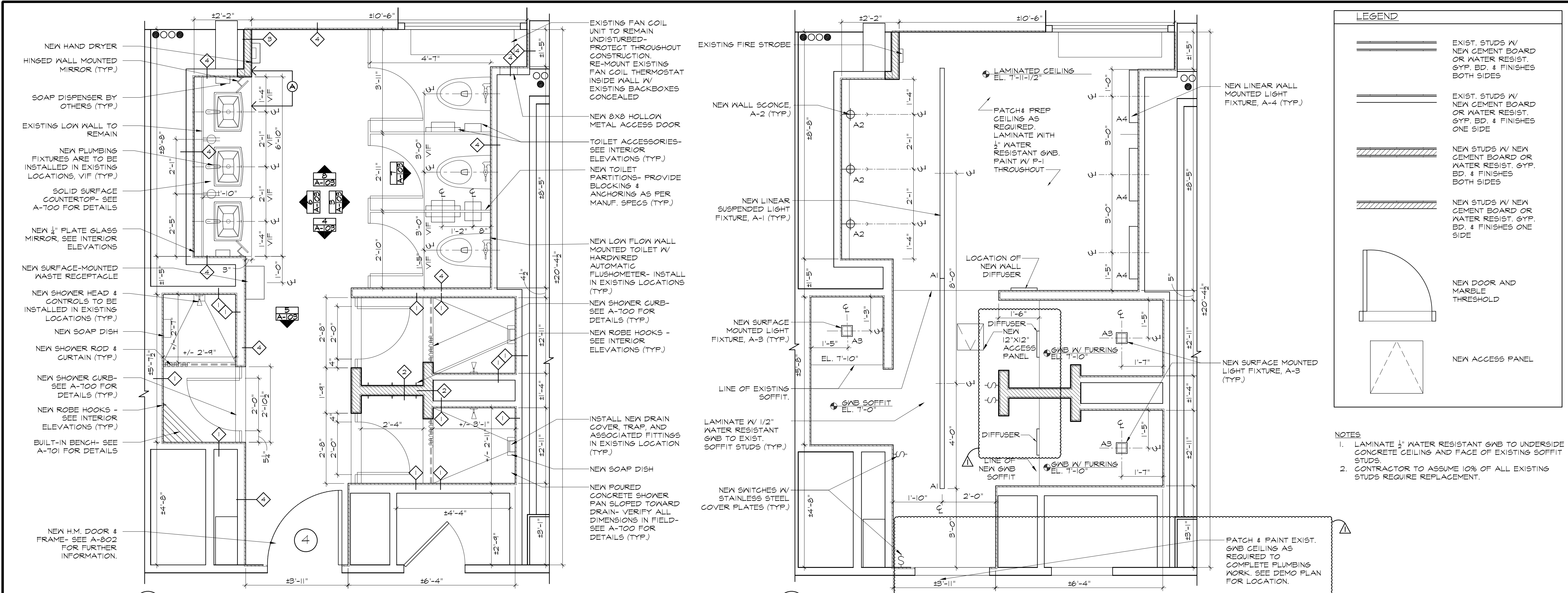
David Smotrich & Partners LLP
 Architects/Planners
 443 Park Avenue South
 New York, NY 10016
 212 889 4045 Fax 212 889 3672

PROJECT:
 CO-ED RESIDENCE HALL BATHROOM RENOVATIONS - 9TH-10TH FLOORS
 230 WEST 27TH ST
 NEW YORK NY 10001

DRAWING TITLE:
 CONSTRUCTION PLAN/RCP/
 INTERIOR ELEVATIONS -
 10TH FLOOR WEST

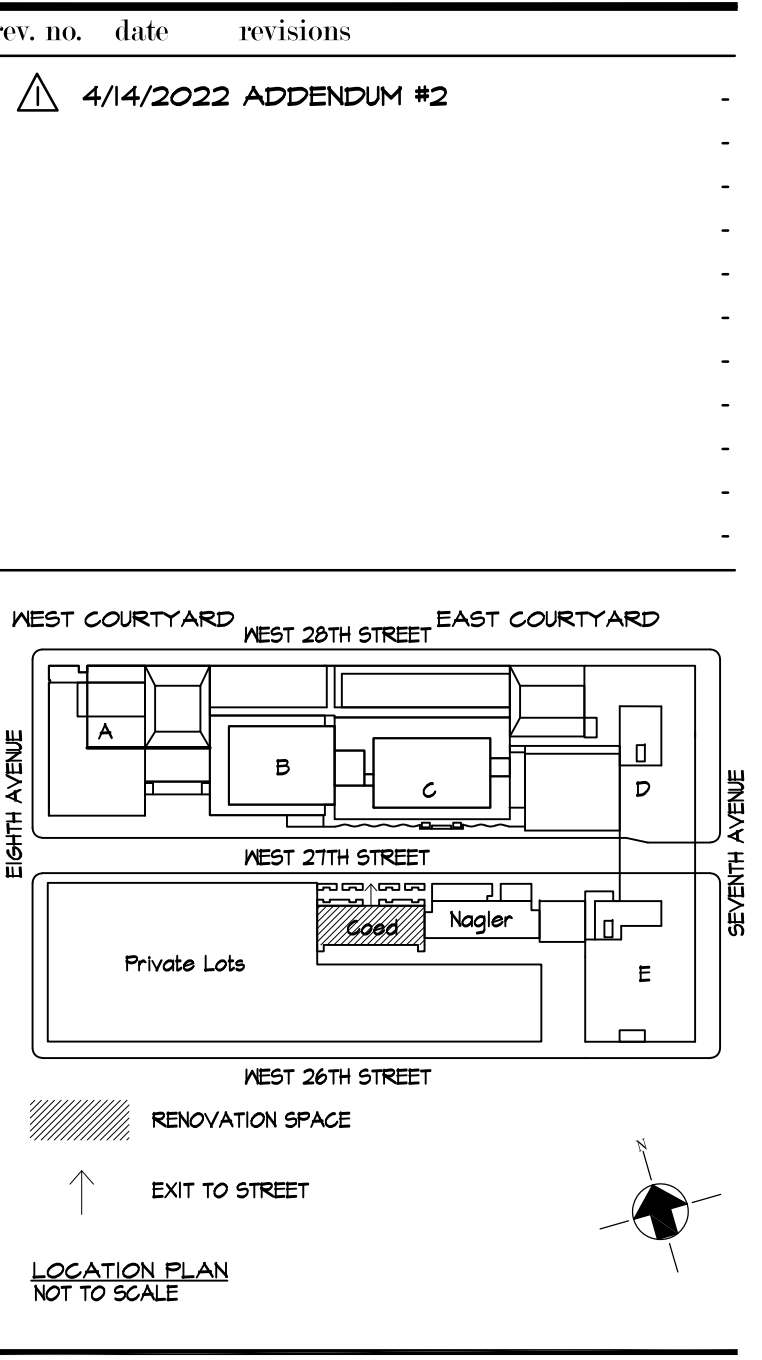
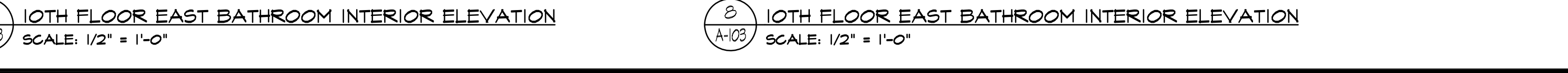
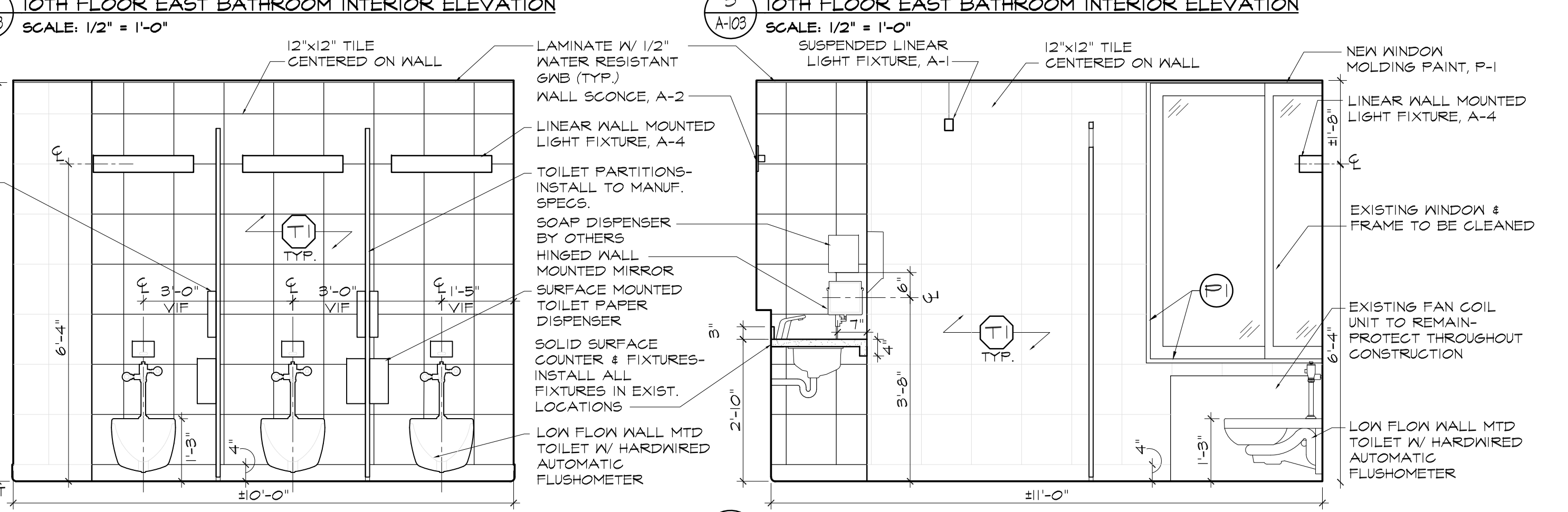
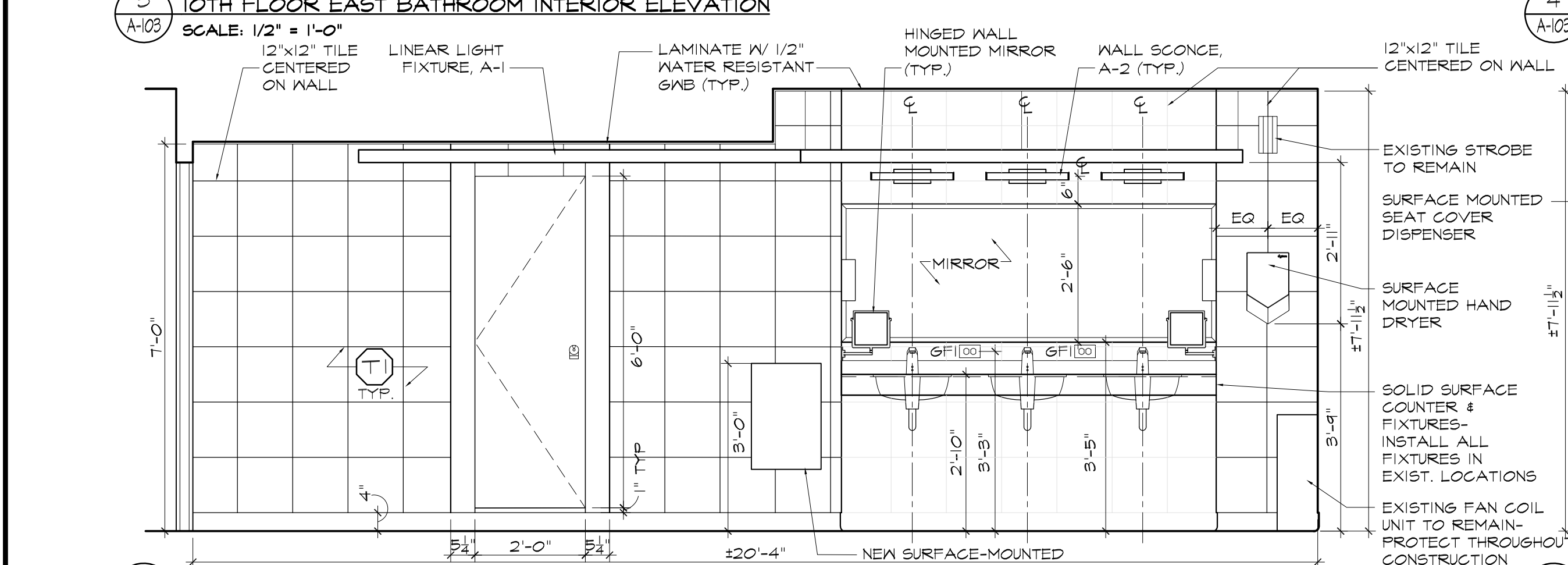
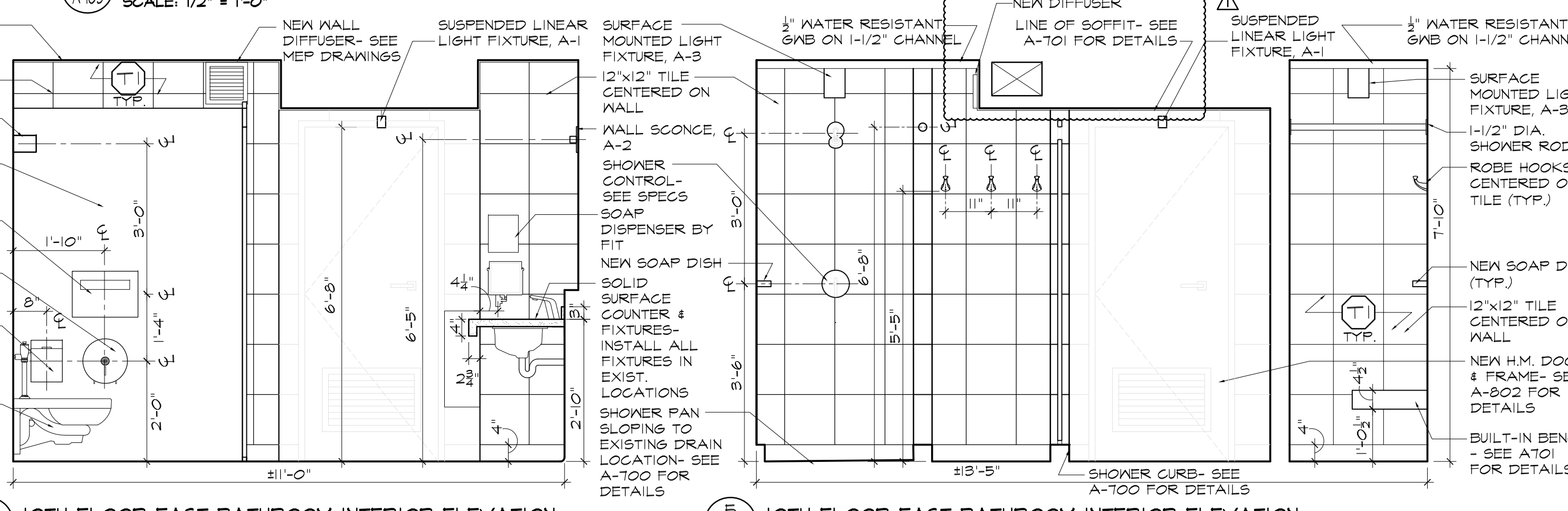
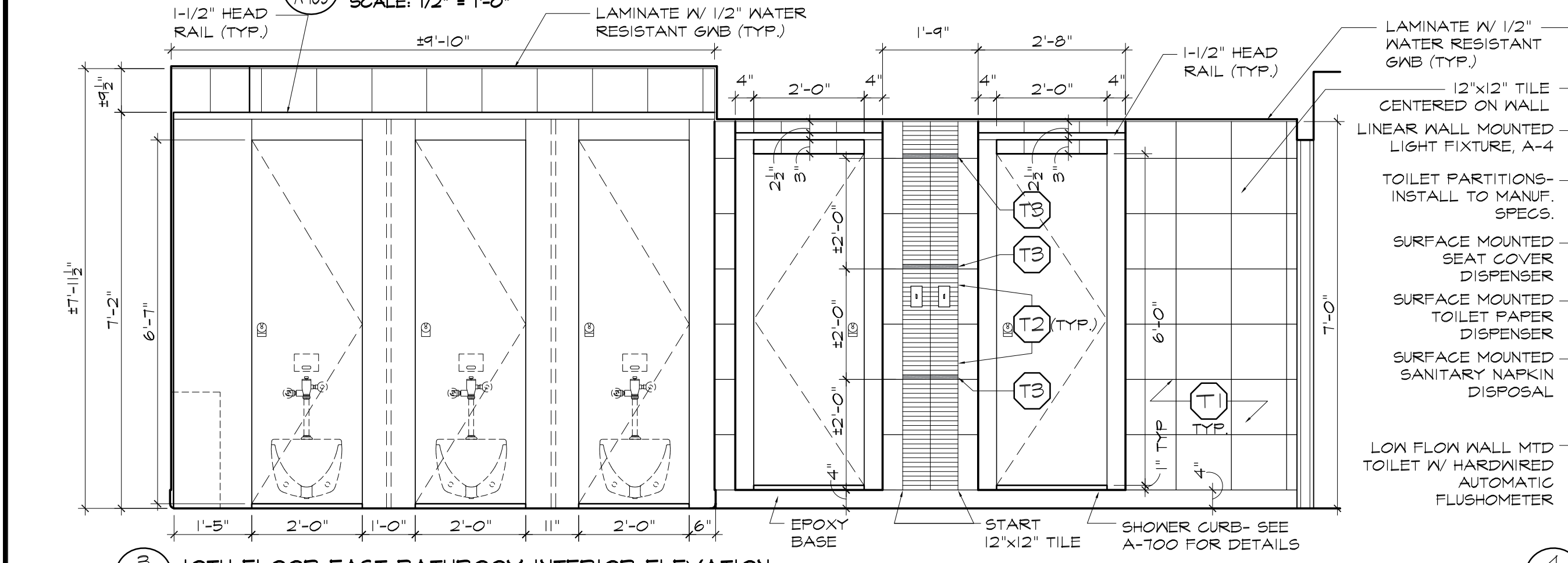
SEAL & SIGNATURE:

DATE: 04.14.2022
 PROJECT No: 13284.110
 DRAWING BY: AP&TM&LX
 CHK BY: GS
 DWG No:
A-102.00
 SCALE AS NOTED 10 of 16



1 10TH FLOOR EAST CONSTRUCTION PLAN
SCALE: 1/2" = 1'-0"

2 10TH FLOOR EAST REFLECTED CEILING PLAN
SCALE: 1/2" = 1'-0"



REV. NO.	DATE	REVISIONS
1	4/14/2022	ADDENDUM #2

Environmental Consultants
EPM, Inc.
 1983 Marcus Ave. Suite 109
 Lake Success, NY 11042 / (516) 328-1194

MEP Consultant
MG Engineering D.P.C.
 116 West 32nd Street
 New York, NY 10001 / (212) 643-9055

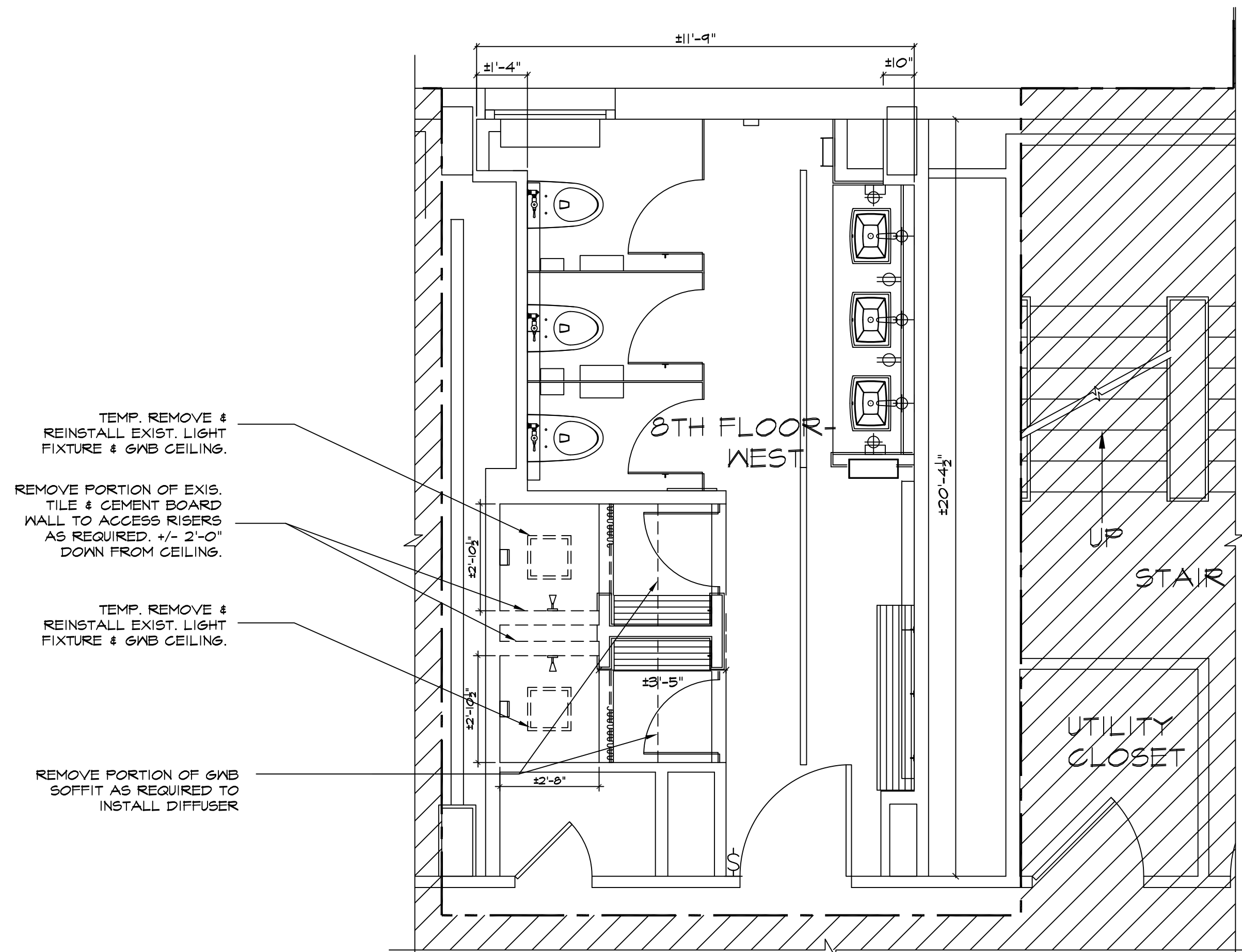
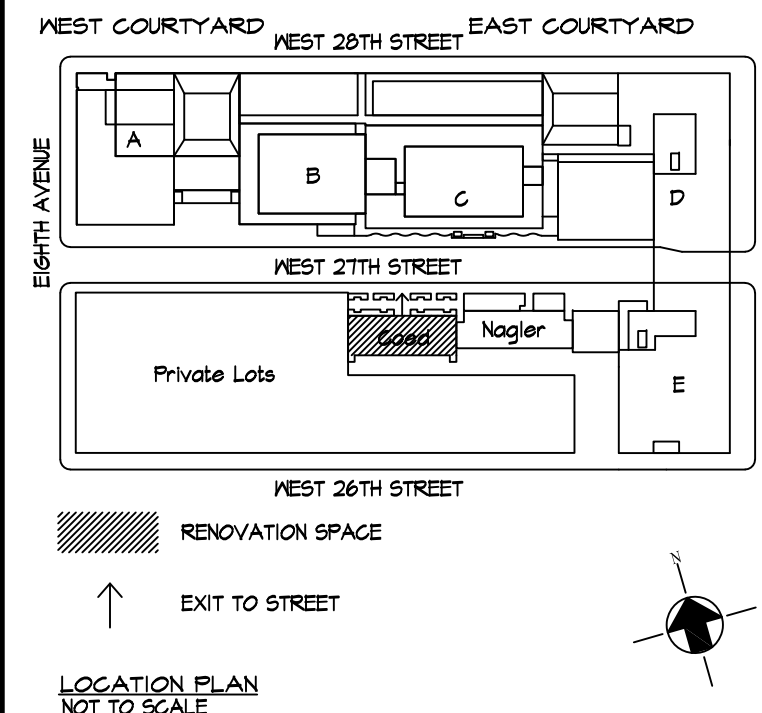
Fashion Institute of Technology
Student Housing Corporation
 230 WEST 27TH STREET
 NEW YORK, NY 10001

David Smotrich & Partners LLP
 Architects/Planners
 443 Park Avenue South
 New York, NY 10016
 212 889 4045 Fax 212 889 3672

PROJECT:
CO-ED RESIDENCE HALL BATHROOM RENOVATIONS - 9TH-10TH FLOORS
 230 WEST 27TH ST
 NEW YORK NY 10001

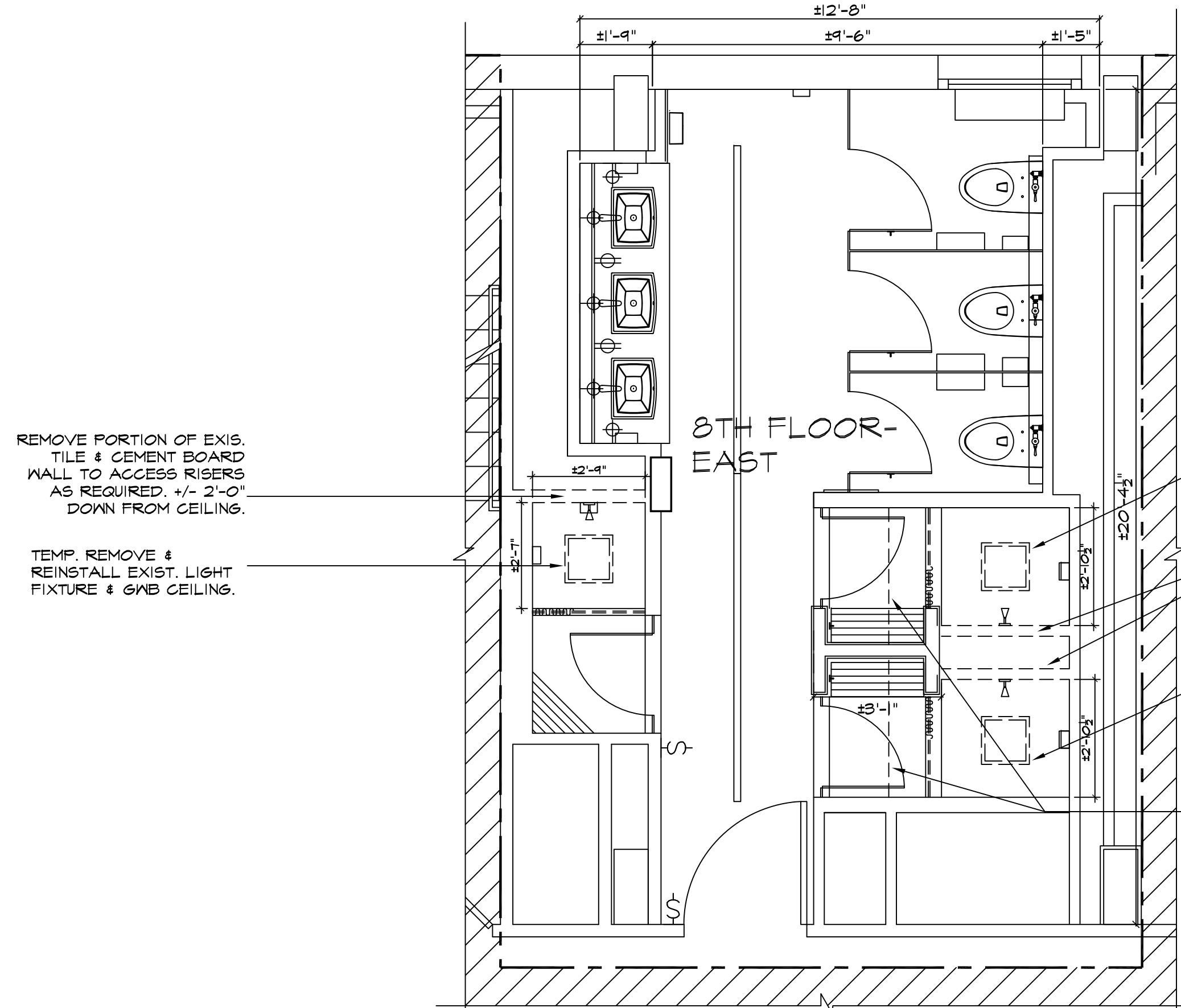
DRAWING TITLE:
CONSTRUCTION PLAN/RCP/ INTERIOR ELEVATIONS - 10TH FLOOR EAST

SEAL & SIGNATURE:	DATE: 04.14.2022
	PROJECT NO: 18284.110
	DRAWING BY: AP&TM&LX
	CHK BY: CS
	DWG NO:
	A-103.00
	SCALE: AS NOTED 11 of 16



- TEMP. REMOVE & REINSTALL EXIST. LIGHT FIXTURE & GNB CEILING.
- REMOVE PORTION OF EXIS. TILE & CEMENT BOARD WALL TO ACCESS RISERS AS REQUIRED, +/- 2'-0" DOWN FROM CEILING.
- TEMP. REMOVE & REINSTALL EXIST. LIGHT FIXTURE & GNB CEILING.
- REMOVE PORTION OF GNB SOFFIT AS REQUIRED TO INSTALL DIFFUSER

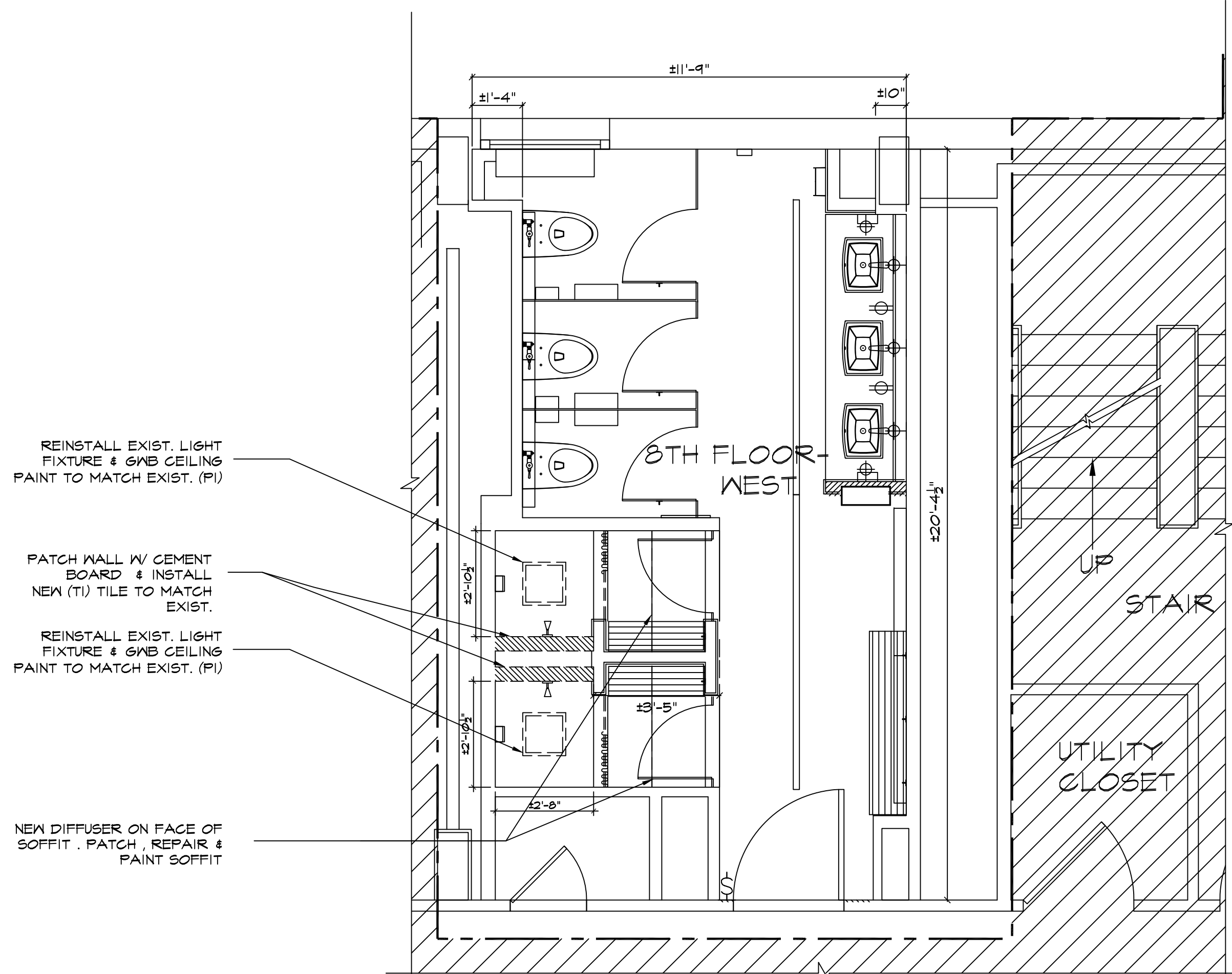
1
A-104
8TH FLOOR WEST BATHROOM DEMOLITION PLAN
SCALE: 3/8" = 1'-0"



- REMOVE PORTION OF EXIS. TILE & CEMENT BOARD WALL TO ACCESS RISERS AS REQUIRED, +/- 2'-0" DOWN FROM CEILING.
- TEMP. REMOVE & REINSTALL EXIST. LIGHT FIXTURE & GNB CEILING.

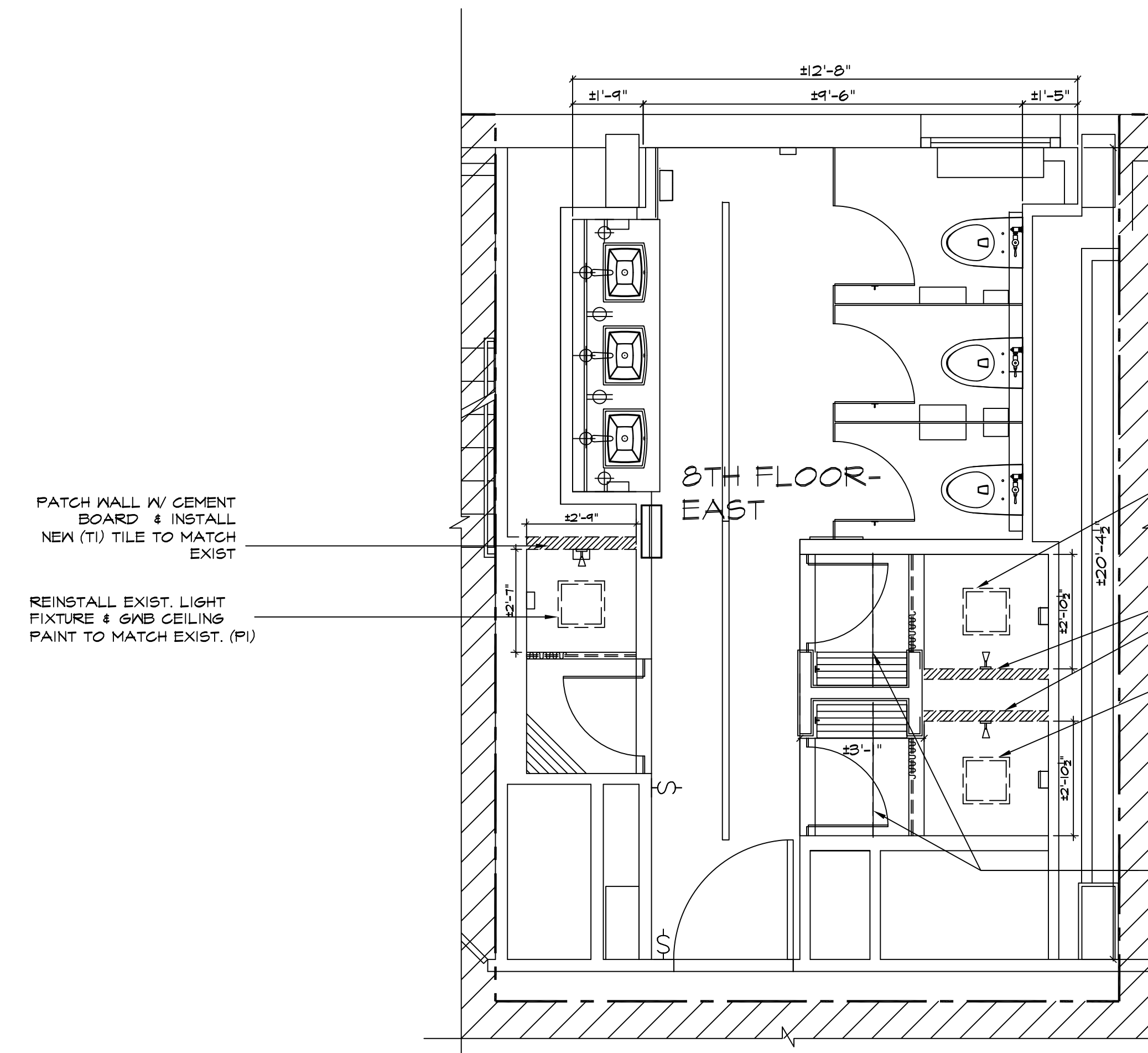
- TEMP. REMOVE & REINSTALL EXIST. LIGHT FIXTURE & GNB CEILING.
- REMOVE PORTION OF EXIS. TILE & CEMENT BOARD WALL TO ACCESS RISERS AS REQUIRED, +/- 2'-0" DOWN FROM CEILING.
- TEMP. REMOVE & REINSTALL EXIST. LIGHT FIXTURE & GNB CEILING.
- REMOVE PORTION OF GNB SOFFIT AS REQUIRED TO INSTALL DIFFUSER

2
A-104
8TH FLOOR EAST BATHROOM DEMOLITION PLAN
SCALE: 3/8" = 1'-0"



- REINSTALL EXIST. LIGHT FIXTURE & GNB CEILING PAINT TO MATCH EXIST. (PI)
- PATCH WALL W/ CEMENT BOARD & INSTALL NEW (TI) TILE TO MATCH EXIST.
- REINSTALL EXIST. LIGHT FIXTURE & GNB CEILING PAINT TO MATCH EXIST. (PI)
- NEW DIFFUSER ON FACE OF SOFFIT. PATCH, REPAIR & PAINT SOFFIT

3
A-104
8TH FLOOR WEST BATHROOM CONSTRUCTION PLAN
SCALE: 3/8" = 1'-0"



- PATCH WALL W/ CEMENT BOARD & INSTALL NEW (TI) TILE TO MATCH EXIST.
- REINSTALL EXIST. LIGHT FIXTURE & GNB CEILING PAINT TO MATCH EXIST. (PI)

Finish Legend	
PAINT	TILE
(PI) MFR. BENJAMIN MOORE NO. CC-20 COLOR: DECORATORS WHITE FINISH: SEMI-GLOSS	(TI) MFR. DARTLE COLLECTION VOLUME 10 COLOR: DEGREES SILVER VLT1 NOTES: MAIN WALL TILE SIZE: 12"x12"
NOTES: FINISHES TO MATCH EXISTING.	

4
A-104
8TH FLOOR EAST BATHROOM CONSTRUCTION PLAN
SCALE: 3/8" = 1'-0"

Environmental Consultants
EPM, Inc.
1983 Marcus Ave. Suite 109
Lake Success, NY 11042 / (516) 328-1194

MEP Consultant
MG Engineering D.P.C.
116 West 32nd Street
New York, NY 10001 / (212) 643-9055

Fashion Institute of Technology
Student Housing Corporation
230 WEST 27TH STREET
NEW YORK, NY 10001

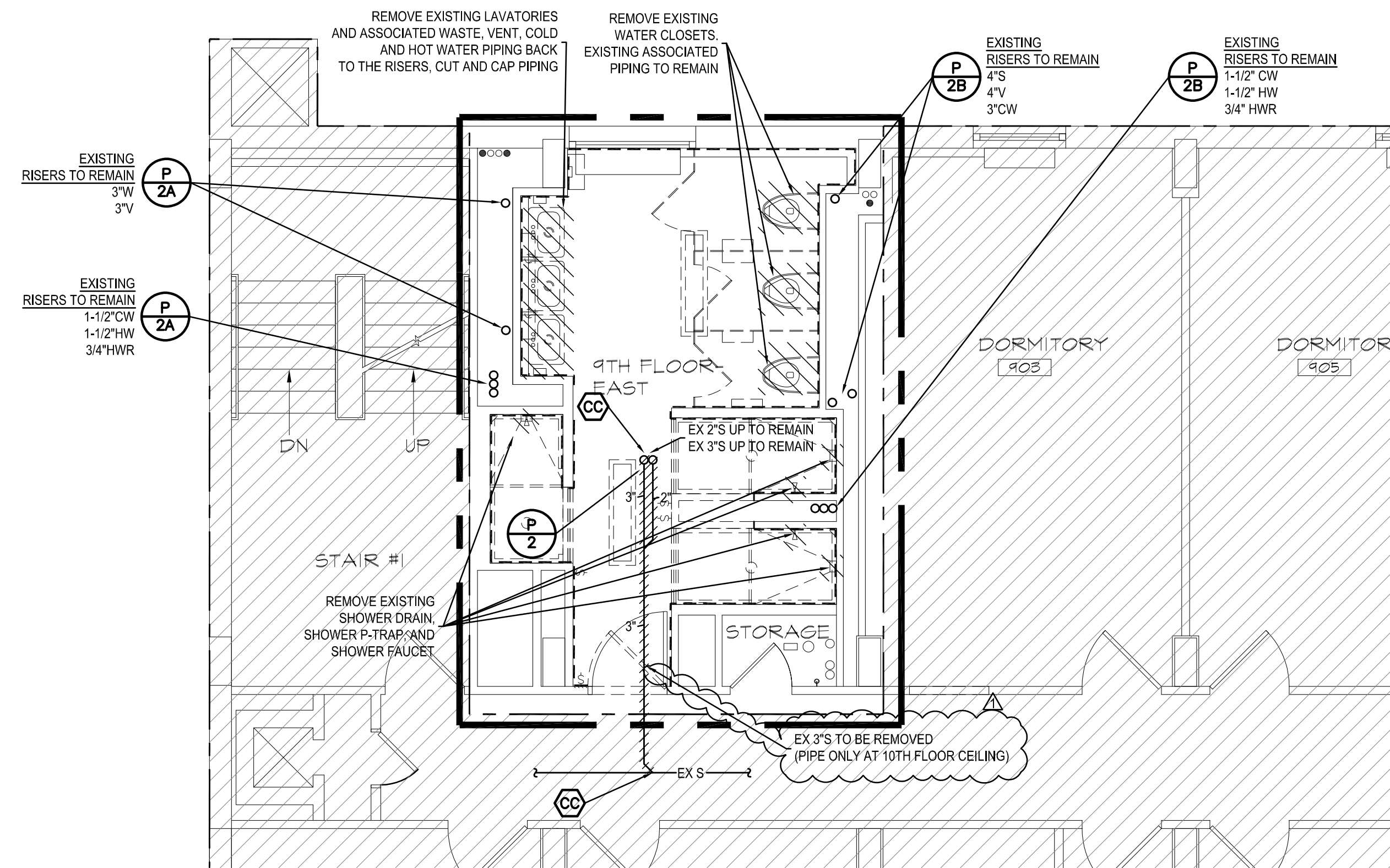
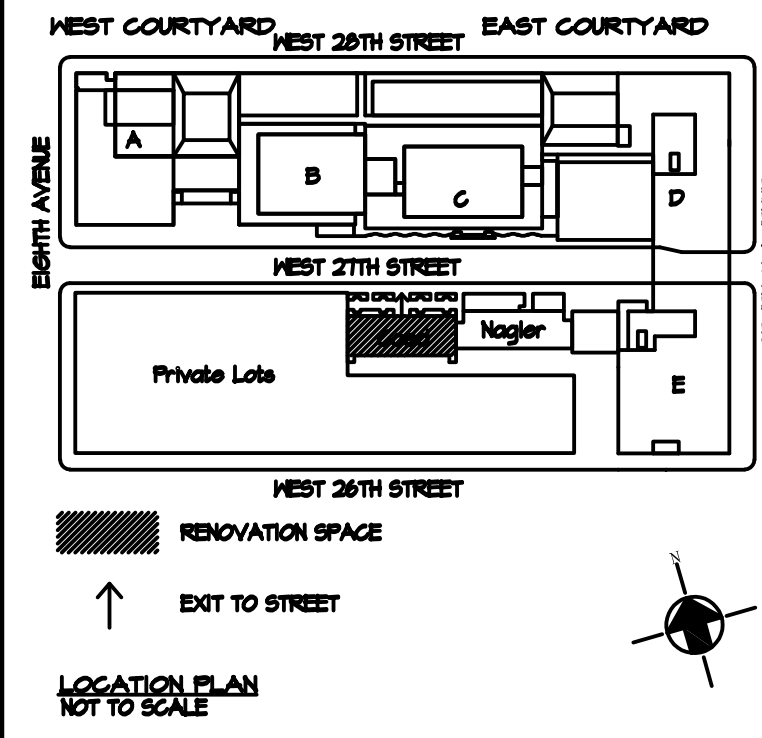
David Smotrich & Partners LLP
Architects/Planners

443 Park Avenue South
New York, NY 10016
212 889 4045 Fax 212 889 3672

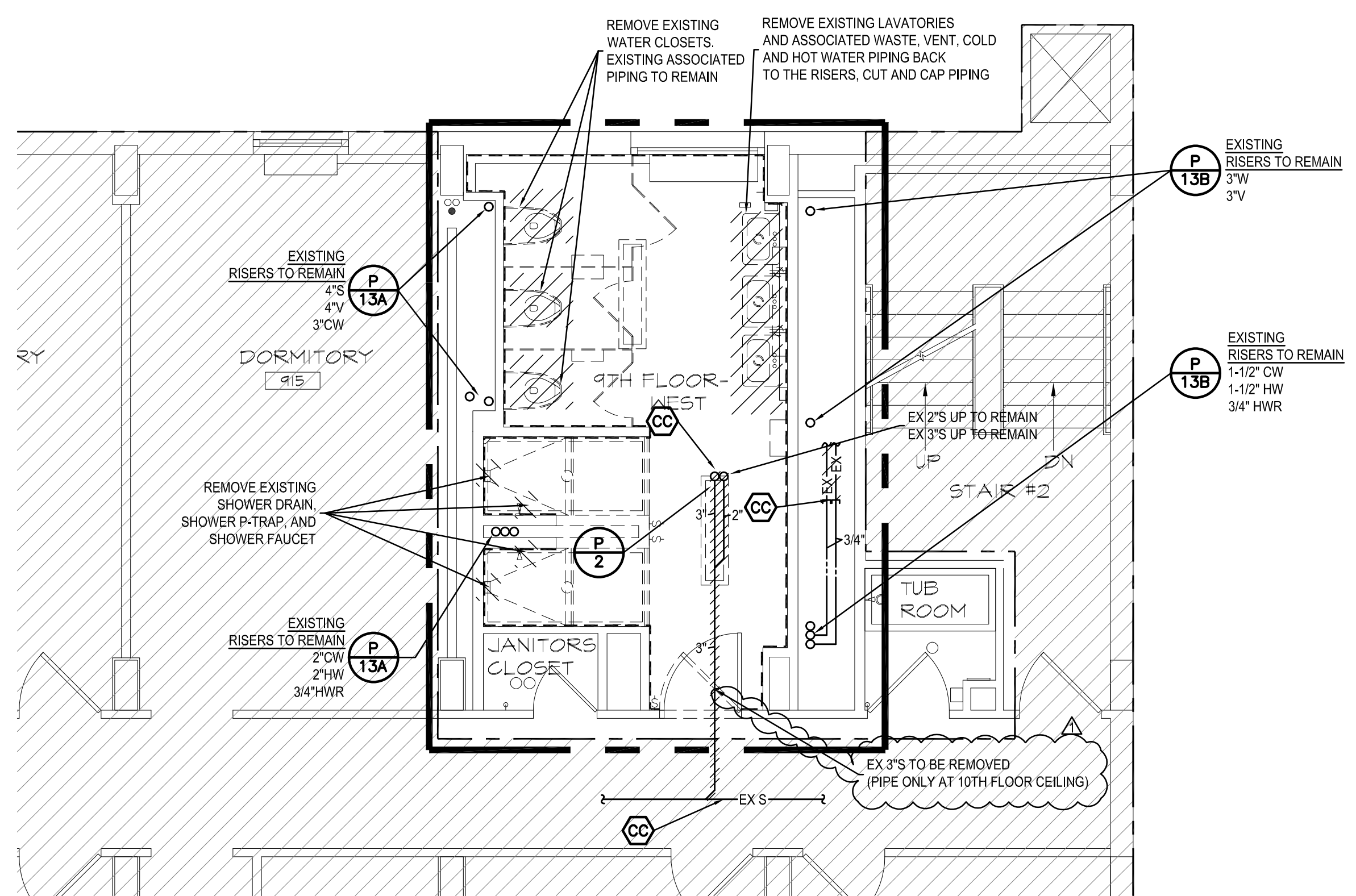
PROJECT:
CO-ED RESIDENCE HALL BATHROOM RENOVATIONS - 9TH-10TH FLOORS
230 WEST 27TH ST
NEW YORK NY 10001

DRAWING TITLE:
DEMO PLANS & CONSTRUCTION PLAN
8TH FLOOR

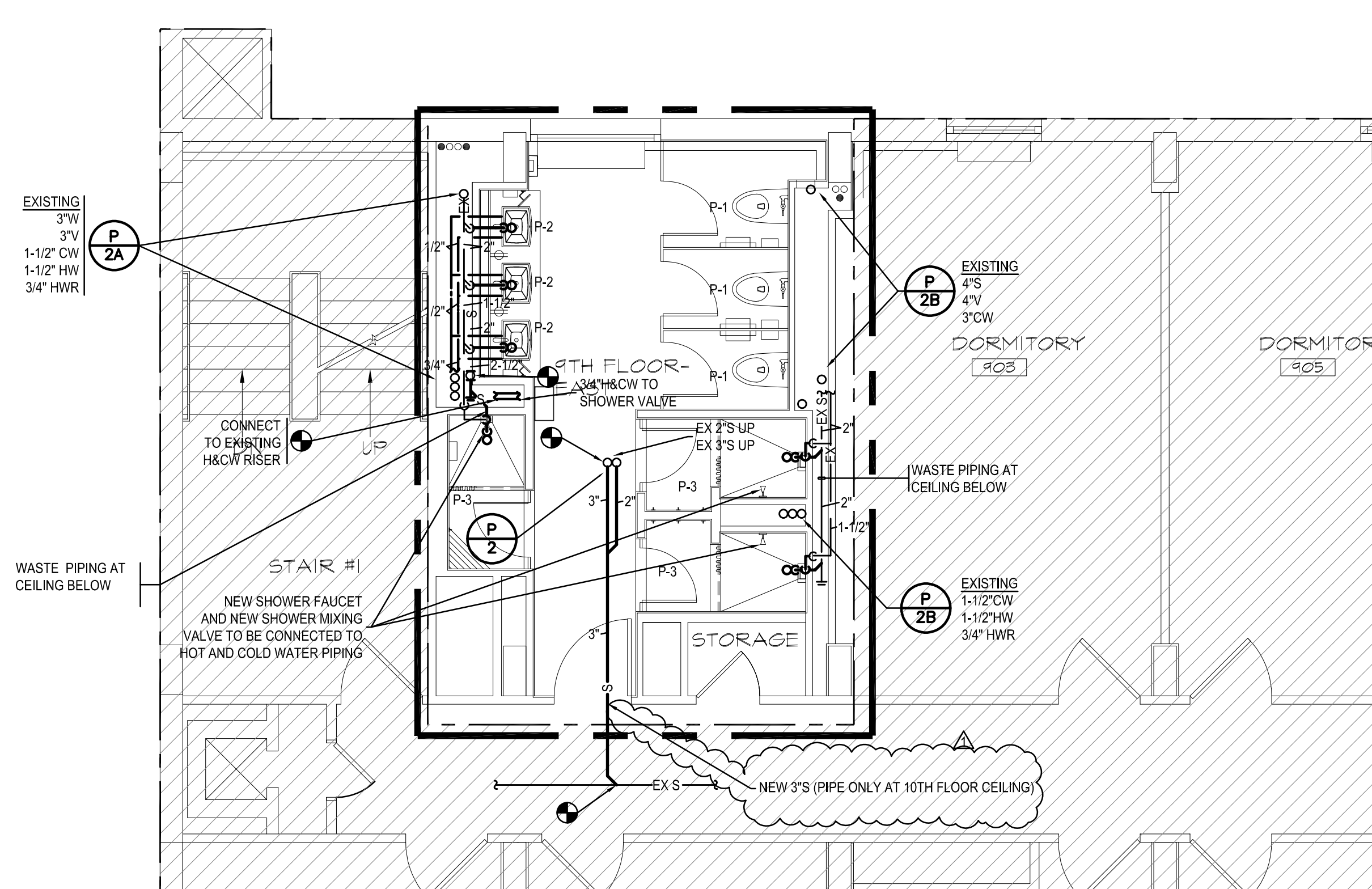
SEAL & SIGNATURE:	DATE: 04.14.2022
	PROJECT No: 13284.110
	DRAWING BY: AP&TM&LX
	CHK BY: GS
	DWG No:
	A-104.00
	SCALE: AS NOTED 11Apr 16



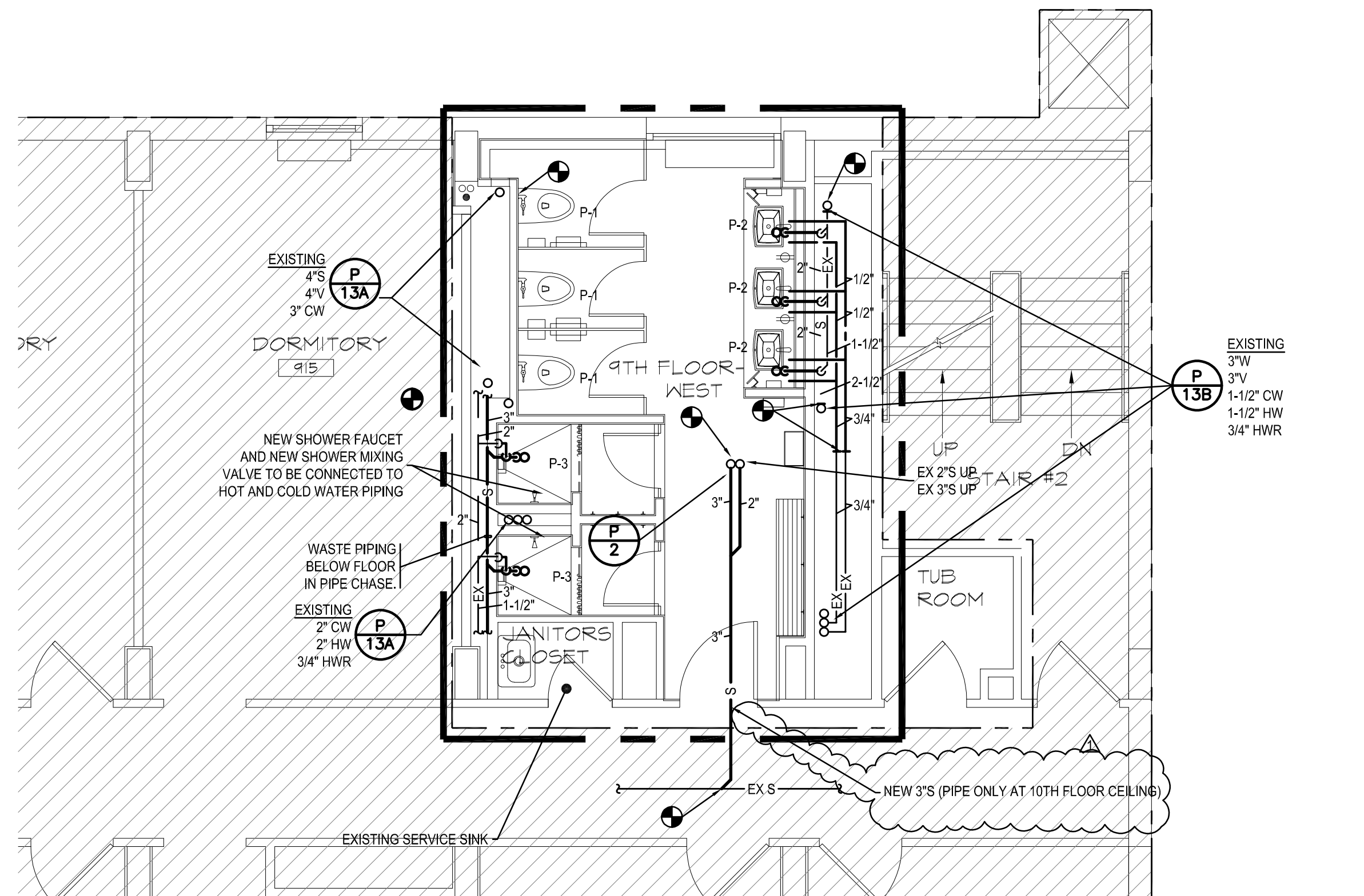
1 PART PLAN DEMOLITION TYPICAL - FOR 9TH AND 10TH FLOORS EAST SIDE BATHROOMS
SCALE: 1/4" = 1'-0"



2 PART PLAN DEMOLITION TYPICAL - FOR 9TH AND 10TH FLOORS WEST SIDE BATHROOMS
SCALE: 1/4" = 1'-0"



3 PART PLAN NEW WORK TYPICAL - FOR 9TH AND 10TH FLOORS EAST SIDE BATHROOMS
SCALE: 1/4" = 1'-0"



4 PART PLAN NEW WORK TYPICAL - FOR 9TH AND 10TH FLOORS WEST SIDE BATHROOMS
SCALE: 1/4" = 1'-0"

NOTE:
SEE DWG P-200 FOR DETAILED SANITARY PIPING TO BE REPLACED
PROVIDE CARRIERS FOR NEW WC

NOT FOR CONSTRUCTION

Environmental Consultants
EPM, Inc.
1983 Marcus Ave. Suite 109
Lake Success, NY 11042 / (516) 328-1194

MEP Consultant
MG Engineering D.P.C.
116 West 32nd Street
New York, NY 10001 / (212) 643-9055

**Fashion Institute of Technology
Student Housing Corporation**
230 WEST 27TH STREET
NEW YORK, NY 10001

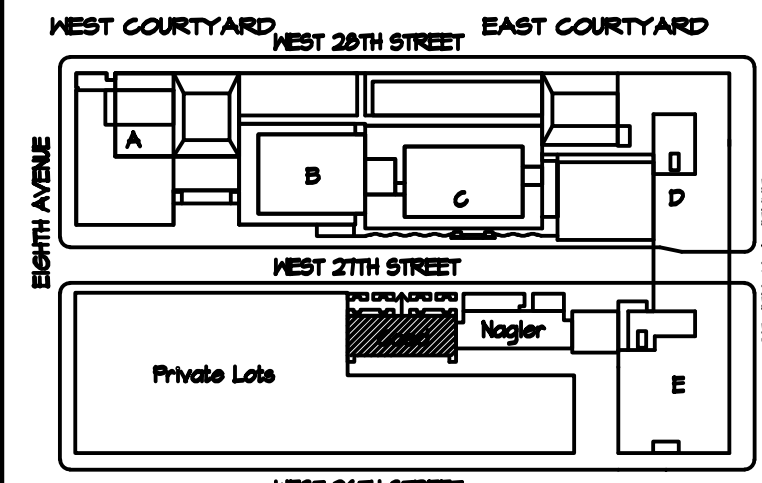
David Smotrich & Partners LLP
Architects/Planners
443 Park Avenue South
New York, NY 10016
212 889 4045 Fax 212 889 3672

PROJECT:
CO-ED RESIDENCE HALL BATHROOM
RENOVATIONS - 9TH-10TH FLOORS
230 WEST 27TH ST
NEW YORK NY 10001

DRAWING TITLE:
PLUMBING 9TH AND 10TH FLOORS
PARTIAL PLANS DEMOLITION AND
NEW WORK

SEAL & SIGNATURE:	DATE: 03.15.2022
	PROJECT No: 15224.110
	DRAWING BY: C.N.
	CHK BY: V.M.
	DWG No:
	P-100.00
	SCALE: AS NOTED 3 OF 4

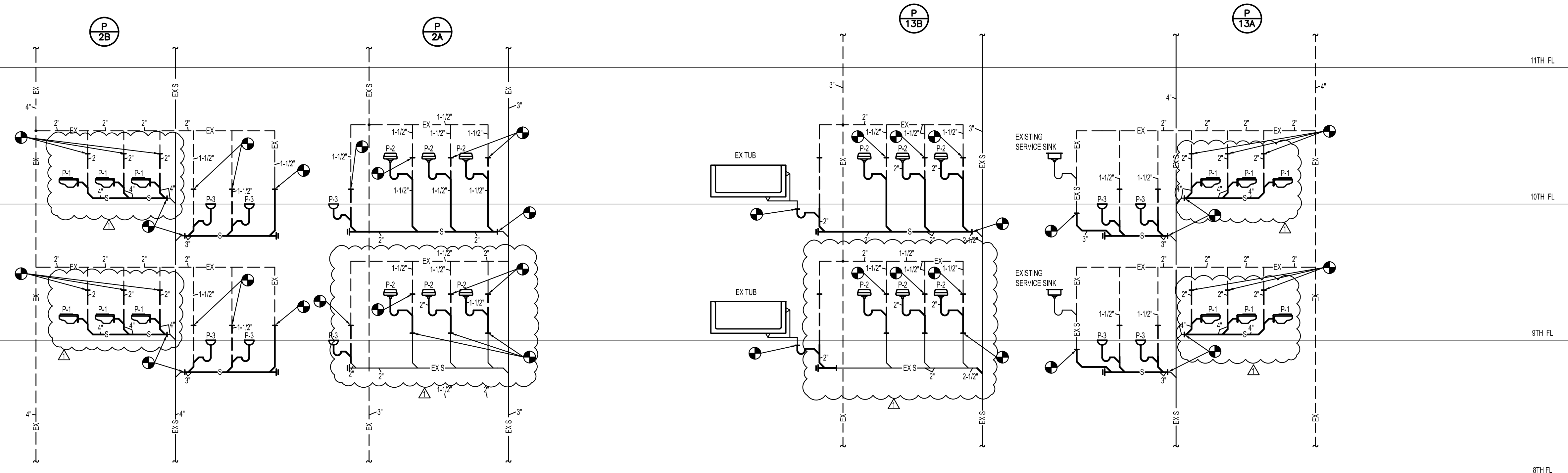
04/14/22 ADDENDUM#2
03/17/22 ISSUED FOR BID



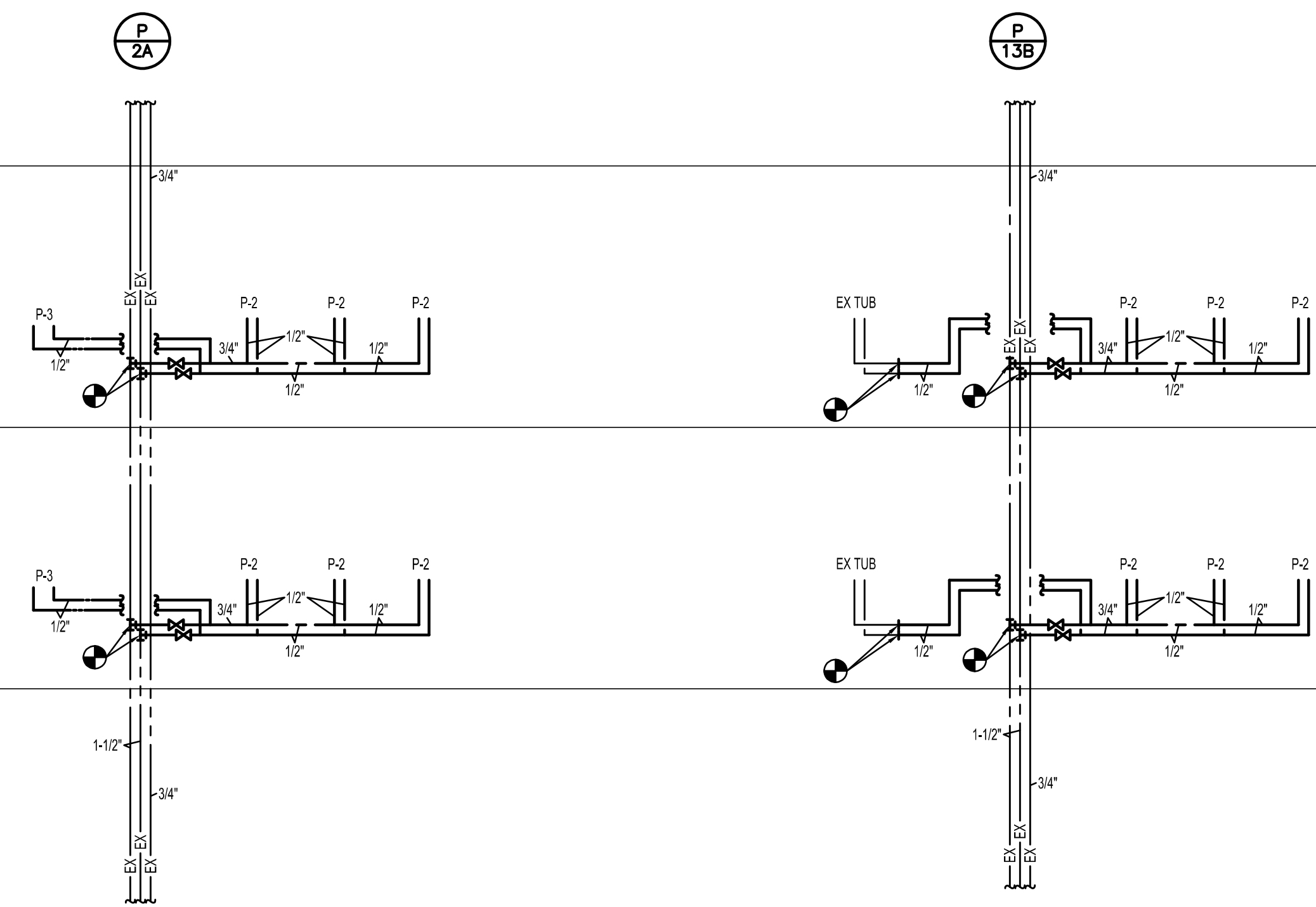
RENOVATION SPACE

EXIT TO STREET

LOCATION PLAN
NOT TO SCALE



1 SANITARY RISER DIAGRAM
SCALE: NTS



2 WATER RISER DIAGRAM
SCALE: NTS

- NOTES:
- CONTRACTOR SHALL INSULATE ALL EXISTING C&HW PIPING
 - CONTRACTOR SHALL SUPPORT IN A PROPER MANNER ALL EXISTING C&HW PIPING INCLUDING THE PIPING FEEDING THE SHOWER MIXING VALVE AND THE SHOWER ROD
 - CONTRACTOR WILL REPLACE ALL STOP VALVES FOR THE LAVATORIES

NOT FOR CONSTRUCTION

Environmental Consultants
EPM, Inc.
1983 Marcus Ave. Suite 109
Lake Success, NY 11042 / (516) 328-1194

MEP Consultant
MG Engineering D.P.C.
116 West 32nd Street
New York, NY 10001 / (212) 643-9055

Fashion Institute of Technology
Student Housing Corporation
230 WEST 27TH STREET
NEW YORK, NY 10001

David Smotrich & Partners LLP
Architects/Planners
443 Park Avenue South
New York, NY 10016
212 889 4045 Fax 212 889 3672

PROJECT:
CO-ED RESIDENCE HALL BATHROOM
RENOVATIONS - 9TH-10TH FLOORS
230 WEST 27TH ST
NEW YORK NY 10001

DRAWING TITLE:

PLUMBING RISERS DIAGRAM

SEAL & SIGNATURE:	DATE: 05.15.2022
	PROJECT No: 15224.110
	DRAWING BY: C.N.
	CHK BY: V.M.
	DWG No: P-200.00
	SCALE: NTS
	4 OF 4